

**CITY OF BEE CAVE, TEXAS**

**ORDINANCE NO. 263**

**AN ORDINANCE AMENDING THE OFFICE ZONING ASSOCIATED WITH LOT 1, KSS SUBDIVISION, CITY OF BEE CAVE, TRAVIS COUNTY, AS RECORDED IN DOCUMENT 2005178723, TRAVIS COUNTY DEED RECORDS AND WHICH PROPERTY IS LOCATED AT 15106 WEST STATE HIGHWAY 71, BEE CAVE, TEXAS; AND FOR LOT 1, DARRELL DUNTEN ADDITION, CITY OF BEE CAVE, TRAVIS COUNTY, TEXAS, AS RECORDED IN DOCUMENT 2013190608, TRAVIS COUNTY DEED RECORDS AND WHICH PROPERTY IS LOCATED AT 15110 WEST STATE HIGHWAY 71, BEE CAVE, TEXAS; TO AUTHORIZE “MINI-WAREHOUSE/SELF STORAGE” AND “CARETAKER’S/GUARD’S RESIDENCE” USE AS A CONDITIONAL USE AND PROVIDING FOR CERTAIN CONDITIONS; APPROVING CONCEPT PLAN, AND ELEVATIONS; PROVIDING FINDINGS OF FACT; PROVIDING FOR PENALTIES UP TO \$2,000.00 PER OFFENSE; PROVIDING FOR SEVERABILITY, AN EFFECTIVE DATE, AND OPEN MEETINGS ACT COMPLIANCE.**

**WHEREAS**, an application has been submitted to amend the Office zoning associated with Lot 1, KSS Subdivision, as recorded in Document No. 2005178723, Travis County Deed Records and which property is located at 15106 West State Highway 71, Bee Cave, Texas (the “Property”) AND for Lot 1, Darrell Dunten Addition, as recorded in Document No. 2013190608, Travis County Deed Records and which property is located at 15110 West State Highway 71, Bee Cave, Texas (the “Property”) to add “Mini-Warehouse/Self Storage” and “Caretaker’s/Guard’s Residence” use as a Conditional Use to the Office district zoning; and

**WHEREAS**, the property owner has submitted a Concept Plan depicting the proposed Mini-Warehouse/Self Storage use and Caretaker’s/Guard’s Residence use and has described operational parameters in its conditional use permit application, described in Exhibit “B”, attached hereto, and has otherwise complied with the requirements of the City of Bee Cave Ordinances for a Conditional Use Permit; and

**WHEREAS**, the notice as required by the City’s Zoning Ordinance has been published in the official newspaper and given to adjacent property owners; and

**WHEREAS**, the Planning and Zoning Commission and the City Council have each conducted Public Hearings on the Application for a Conditional Use Permit wherein public comment was received and considered; and

**WHEREAS**, Mini-Warehouse/Self Storage use and Caretaker's/Guard's Residence use in conjunction with Office zoning is authorized in such zoning districts upon granting of a Conditional Use Permit; and

**WHEREAS**, the City Council finds that the use of the Property for Mini-Warehouse/Self Storage use and Caretaker's/Guard's Residence use as depicted in the Concept Plan as described in Exhibit "B" in accordance with any terms or conditions set out in this Ordinance or other ordinances or approvals applicable to the Property is an appropriate use for the Property.

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BEE CAVE, TEXAS:**

**SECTION 1.** The City Council finds that the information submitted in the Application for a Conditional Use Permit submitted by Applicant meets the requirements of the City of Bee Cave Zoning Ordinance for the Property as depicted on the Concept Plan attached hereto and incorporated herein as Exhibit "A".

**SECTION 2. Uses.** A Conditional Use Permit is hereby granted, subject to the conditions listed in Section 4 and Exhibit "B" and other limitations herein described, to authorize Mini-Warehouse/Self Storage use and Caretaker's/Guard's Residence use on the Property as depicted in Exhibit "A" and in conjunction with any other permitted uses authorized in Office zoning districts.

**SECTION 3. Concept Plan.** The Concept Plan attached hereto as Exhibit "A" depicting the Mini-Warehouse/Self Storage use and Caretaker's/Guard's Residence use and architectural elevations for buildings and other structures associated with the use of the Property as a Mini-Warehouse/Self Storage use and Caretaker's/Guard's Residence use together with all other uses and amenities depicted in the Concept Plan are all hereby approved contingent upon the property owner meeting the conditions contained within Section 4, Exhibit "B" and in this Ordinance.

**SECTION 4. Conditional Use Permit.** The City Council hereby approves a Conditional Use Permit to the property owner (hereinafter "Permittee") upon the following terms and conditions:

1. Permittee shall not commence development until it has secured all permits and approvals as required by the City of Bee Cave Ordinances.
2. The Conditional Use Permit authorizes additional development of the subject Property only as represented in the Permittee's application and only to the extent such development is depicted in the Concept Plan or described in Exhibit "B," attached hereto, and only to the extent authorized herein. If portions of the development of the subject Property requested in the application are not approved herein by the Council, or are not

depicted in Exhibit "A" or described in Exhibit "B," then that portion of Permittee's application is specifically denied.

3. Amendments to development for this Property in the future shall comply with Office zoning except as may be approved by this Conditional Use Permit.
4. The uses authorized in this Conditional Use Permit shall also comply with the development standards and operational standards described in Exhibit "B" attached hereto.

**SECTION 5.** Any person, firm or corporation violating any of the provisions of this Ordinance or Chapter 32, Zoning, of the Code of Ordinances, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of Bee Cave, Texas, shall be punished by a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day of any such violation shall be deemed to constitute a separate offense, in accordance with Section 1.01.009 of the City's Code of Ordinances.

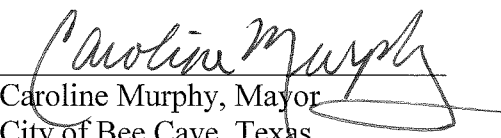
**SECTION 6. Severability.** Should any sentence, paragraph, subdivision, clause, phrase, or section of this Ordinance be adjusted or held to be unconstitutional, illegal, or invalid, the same shall not affect the validity of this Ordinance in whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the City's Zoning Ordinance or Map as a whole.

**SECTION 7. Effective Date.** That this ordinance shall take effect immediately from and after its passage and the publication as required by law.

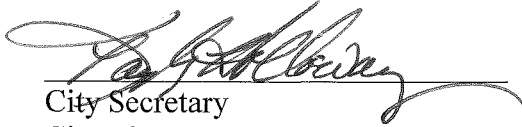
**SECTION 8. Notice and Meeting Clause.** It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government Code.

**DULY PASSED** by the City Council of the City of Bee Cave, Texas, on the 27<sup>th</sup> day of October 2015.

**CITY OF BEE CAVE, TEXAS**

  
Caroline Murphy, Mayor  
City of Bee Cave, Texas

**ATTEST:**

A handwritten signature in cursive script, likely belonging to the City Secretary, written over a horizontal line.

City Secretary  
City of Bee Cave, Texas  
[SEAL]

**APPROVED AS TO FORM:**

A handwritten signature in cursive script, reading "Patty L. Akers", written over a horizontal line.

Patty L. Akers, City Attorney  
City of Bee Cave, Texas

**EXHIBIT “A”**  
CONCEPT PLAN

BEE CAVE SELF-STORAGE  
SITE CONCEPT PLAN

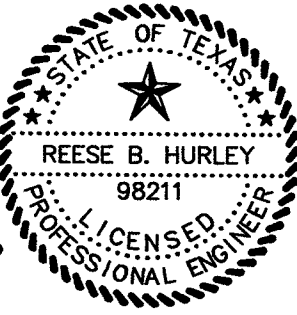
15106 & 15110 WEST SH 71, BEE CAVE, TX 78738

BEE CAVE SELF-STORAGE  
CONCEPT PLAN  
COVER SHEET

SUBMITTED FOR APPROVAL BY:  
LJA ENGINEERING, INC.

*Reese Hurley*  
REESE B. HURLEY, P.E. #98211  
LICENSED PROFESSIONAL ENGINEER

09-22-2015  
DATE

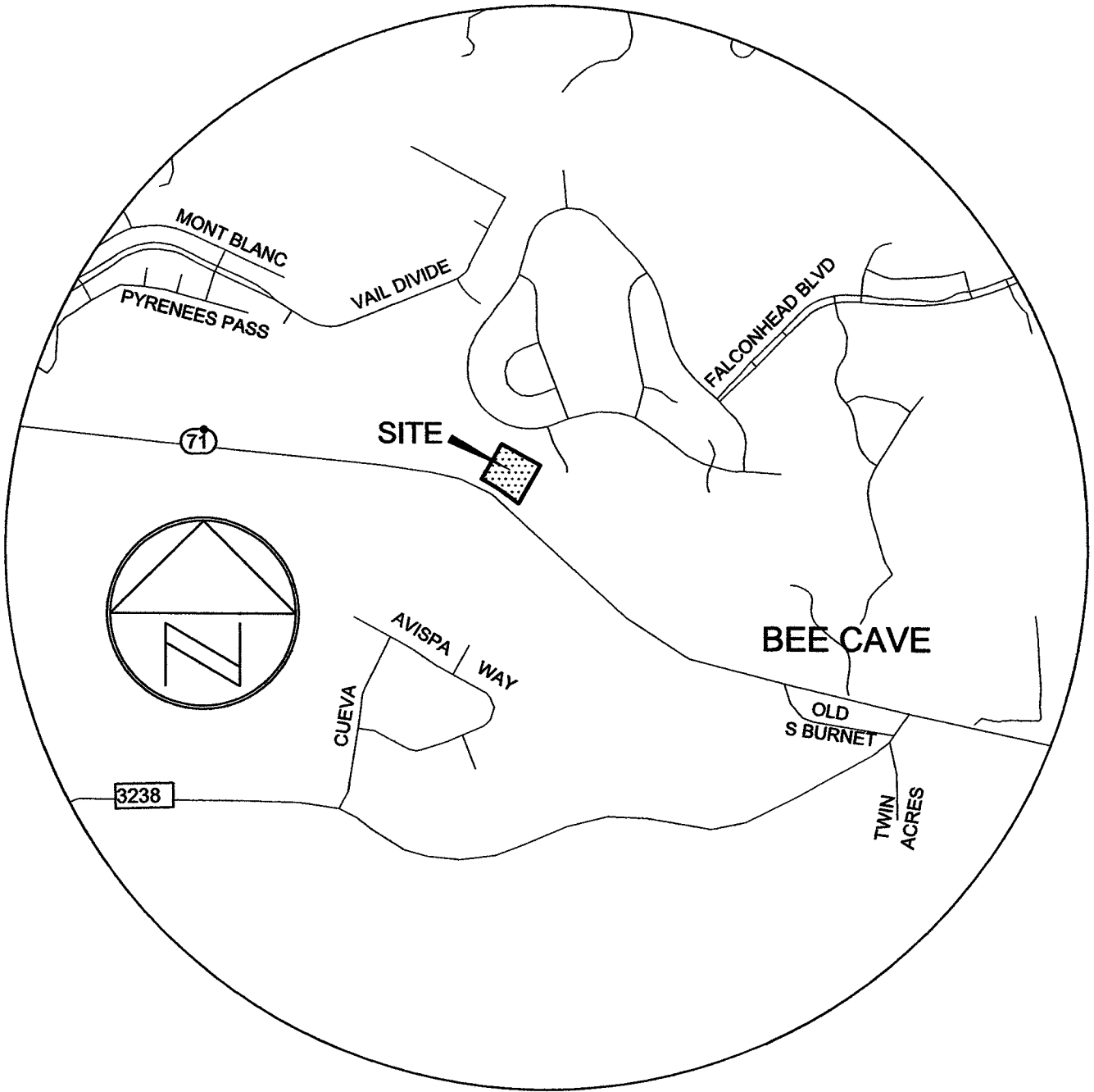


CITY OF BEE CAVE APPROVAL DATE

REVIEWED BY:

CITY OF BEE CAVE DATE

CITY ADMINISTRATOR DATE



LOCATION MAP  
(N.T.S.)

SHEET NO.	DESCRIPTION
1	CV01 COVER SHEET
2	GN01 GENERAL NOTES & DETAILS
3	SL01 SLOPE MAP
4	TP01 TREE PROTECTION PLAN
5	SP01 SITE PLAN
6	AS01 ARCHITECTUAL SITE PLAN
7	BE01 BUILDING ELEVATIONS
8	BE02 BUILDING ELEVATIONS

NOTES:

- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF BEE CAVE MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- THIS PROJECT IS LOCATED IN THE LITTLE BARTON CREEK WATERSHED. THIS PROJECT IS WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.
- NO PORTION OF THE PROPOSED IMPROVEMENTS ARE WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) # 48453C0415 H, TRAVIS COUNTY, TEXAS, DATED SEPTEMBER 26, 2008.
- THIS PROJECT IS LOCATED IN THE CITY OF BEE CAVE, TEXAS.
- AN NPS PERMIT IS REQUIRED PRIOR TO CONSTRUCTION OF THE SITE.

LEGAL DESCRIPTION

LOT 1 DUNTEN DARRELL ADDN.(VOL. 83 / PAGE 44, O.P.R.T.C.T.)  
LOT 1 FSS SUBDIVISION (VOL. 92 / PAGE 352, O.P.R.T.C.T.)

BENCHMARK INFORMATION

**BM1:**  
COTTON SPINDLE SET IN A 25" LIVE OAK WITH TAG #23007 LOCATED ON LOT 1 (DUNTEN ADD.) APPROX. 50' S.E. OF THE S.E. CORNER OF A CONCRETE SLAB AND APPROX. 90' N.W. OF A POWER POLE ON THE EAST BOUNDARY LINE THAT IS AT THE INTERSECTION OF A BARBED WIRE FENCE AND A WOOD PRIVACY FENCE. ELEVATION = 1024.35'

**BM2:**  
COTTON SPINDLE SET IN A 13" LIVE OAK WITH TAG #23152 LOCATED ON LOT 1 (KSS SUBD.) APPROX. 28' N.E. OF THE N.E. CORNER OF A 3187 SQ FT WOOD BUILDING AND APPROX. 9' N.W. OF THE S.W. CORNER OF A CONCRETE SLAB CONTAINING A TIN SHED. ELEVATION = 1033.78'

VERTICAL DATUM: NAVD 88 (GEOID 09)

**OWNER / DEVELOPER:** THE JENKINS ORGANIZATION, INC.  
4600 MUELLER BLVD., SUITE 1003  
AUSTIN, TX 78723  
PHONE #: 512.965.6432

**ENGINEER:** LJA ENGINEERING, INC.  
5316 HIGHWAY 290 W., SUITE 150  
AUSTIN, TX 78738  
CONTACT PERSON: DANNY MILLER, P.E.  
PHONE #: 512.439.4700  
FAX #: 512.439.4716

**ARCHITECT:** ARCHON ARCHITECTURE  
12035 COLWICK, SUITE 200  
SAN ANTONIO, TX 78216  
PHONE #: 210.493.2234

**SURVEYOR:** CHAPARRAL PROFESSIONAL  
LAND SURVEYING, INC.  
3500 McCALL LANE  
AUSTIN, TX 78744  
PHONE #: 512.443.1724  
FAX #: 512.399.0943

REVISIONS / CORRECTIONS

Number	Description	Revise (R) Add (A) Vold (V) Sheet No.'s	Total # of Sheets In Plan Set	Net Change Imp. Cover (sq. ft.)	Total Site Imp. Cover (sq. ft.) %	City of Bee Cave Approval Date	Date Imaged

**LJA Engineering, Inc.**  
5316 Highway 290 West  
Suite 150  
Austin, Texas 78735  
Phone 512.439.4700  
Fax 512.439.4716  
FRN-F-1386

GENERAL CONSTRUCTION NOTES

1. All construction shall be in accordance with the City of BEE CAVE Standard Specifications.
2. Chaparral Control Point for this project is P750, 4" aluminum disk set in concrete
- SURFACE COORDINATES:  
N 10087481.67  
E 3039841.94  
ELEVATION = 1001.05'
- TEXAS STATE PLANE COORDINATES:  
N 10086473.03  
E 3039837.97  
ELEVATION = 1001.05'
3. If blasting is planned by the contractor, a blasting permit must be secured prior to commencement of any blasting.
4. The location of any water and/or wastewater lines shown on the plans must be verified by the West Travis County Public Utility Agency.
5. Contractor shall coordinate inspection of utility and storm sewer lines with the appropriate authorities and/or utility company prior to backfilling trenches.
6. Any fittings, valves, or other appurtenances necessary for testing of utility lines shall be provided by the contractor at no additional cost to the owner.
7. Alignment of utility and storm sewer lines shown on plans shall be achieved by deflection in pipe and pipe joints not to exceed manufacturer's recommended maximum deflection, except where specific bends and/or fittings are called for on plans.
8. The location and type of utilities and underground facilities shown on these plans are not guaranteed to be accurate or all inclusive. The contractor shall verify all depths and locations of existing utilities prior to any construction. It is the contractor's responsibility to locate and protect all existing utilities. In addition to normal precautions when excavating, use extra caution when excavating within 25 feet or any utilities shown on the plans.
9. It shall be the responsibility of the contractor to repair, at his expense, all utilities, pavement, curb, fences, and any other items damaged during construction regardless of whether these items are shown on the plans.
10. Whenever existing utilities, indicated or not on plans, present obstructions to grade or alignment of proposed pipe, contractor is to immediately notify engineer who will determine if existing improvements are to be relocated or if the grade and alignment of proposed pipe is to be changed.
11. Disposal of spoil material will be the responsibility of the contractor. Spoil shall be disposed of at the designated onsite fill area, or permanently removed to a permitted spoil disposal area. The contractor shall be responsible for obtaining necessary permits in conjunction with this work.
12. Cleanup - upon completion and before making application for acceptance of the work, the contractor shall clean all streets and all ground occupied by him in connection with the work of all rubbish, excess materials, excess excavated materials, temporary structures, and equipment. All parts of the work shall be left in a neat and presentable condition satisfactory to the owner and governmental bodies having jurisdiction prior to submittal of the final payment. Final cleanup payment is considered as incidental to unit prices on the bid proposal.
13. Dewatering, if necessary, shall be considered incidental to the work and shall not constitute a basis for additional payment. CONTRACTOR shall comply with requirements of 30 TAC Chapter 207, the Water Code of Texas Chapter 26, and the conditions of the Stormwater Pollution Prevention Plan and the General Permit TXR-150000.
14. The contractor shall confine his work to within the limits of construction which are generally defined.
15. All concrete shall be class 'A' with a minimum 28 day compressive strength of 3,000 P.S.I., unless otherwise noted.
16. All reinforced steel shall be ASTM A615m, grade 60, unless otherwise noted.
17. It is the responsibility of the developer to identify, obtain and pay for all environmental and other permits, licenses, or written authorizations necessary to complete the work and to comply with all applicable federal, state, and/or local laws, regulations, and ordinances. This includes the development of any assessments, plans, or procedures or other documents required to comply with any permit, license, law, regulation, ordinance or other requirement or authorization.

PROPOSED CONSTRUCTION SEQUENCING

IN ORDER TO KEEP DISTURBANCE OF NATURAL GROUND COVER TO A MINIMUM, THE SEQUENCING OF CONSTRUCTION WILL GENERALLY TAKE PLACE IN THE FOLLOWING MANNER:

1. INSTALL EROSION CONTROLS AND TREE PROTECTION PER APPROVED PLANS.
2. THE ENVIRONMENTAL PROJECT MANAGER MUST CONTACT THE CITY OF BEE CAVE, AT 767-6670 TO SCHEDULE AND HOLD PRE-CONSTRUCTION CONFERENCE ON SITE. MUST PROVIDE 72-HOUR NOTIFICATION OF ENVIRONMENTAL INSPECTION PRIOR TO PRE-CONSTRUCTION CONFERENCE.
3. EROSION CONTROL S WILL BE REVISED, IF NEEDED TO COMPLY WITH INSPECTOR'S DIRECTIVES, AND REVISED CONSTRUCTION SCHEDULE RELATIVE TO THE WATER QUALITY PLAN REQUIREMENTS AND THE EROSION PLAN.
4. ROUGH CUT ALL REQUIRED OR NECESSARY PONDS, EITHER THE PERMANENT OUTLET STRUCTURE OR A TEMPORARY OUTLET MUST BE CONSTRUCTED PRIOR TO DEVELOPMENT OF ANY EMBANKMENT OR EXCAVATION THAT LEADS TO PONDING CONDITIONS. THE OUTLET SYSTEM MUST CONSIST OF A LOW-LEVEL OUTLET AND AN EMERGENCY OVERFLOW MEETING THE REQUIREMENTS OF THE DRAINAGE CRITERIA MANUAL (SECTION 8.3) AND/OR THE ENVIRONMENTAL CRITERIA MANUAL (SECTION 1.4.2.K) AS REQUIRED. THE OUTLET SYSTEM SHALL BE PROTECTED FROM EROSION AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION UNTIL FINAL RESTORATION IS ACHIEVED.
5. TEMPORARY CONTROL TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS AND AFTER RAINFALL EVENTS, AS NEEDED.
6. ENVIRONMENTAL PROJECT MANAGER WILL SCHEDULE A MID-CONSTRUCTION CONFERENCE TO COORDINATE CHANGES IN THE CONSTRUCTION SCHEDULE AND EVALUATE EFFECTIVENESS OF THE EROSION CONTROL PLAN AFTER DISCUSSING CONSTRUCTION ACTIVITIES TO THE SITE. PARTICIPANTS SHALL INCLUDE THE CITY INSPECTOR, PROJECT ENGINEER, GENERAL CONTRACTOR AND ENVIRONMENTAL PROJECT MANAGER. THE ANTICIPATED COMPLETION DATE AND FINAL CONSTRUCTION SEQUENCE AND INSPECTION SCHEDULE WILL BE COORDINATED WITH THE APPROPRIATE CITY INSPECTOR. A MID-CONSTRUCTION CONFERENCE IS REQUIRED FOR EACH PHASE, IF PHASING IS PROPOSED, WITH THE WATERSHED PROTECTION DEPARTMENT STAFF, WHICH WILL BE COORDINATED BASED UPON COMPLETION OF BUILDINGS, DRAINAGE FACILITIES, WATER QUALITY CONTROLS AND TEMPORARY EROSION CONTROLS BY PHASE.
7. SITE ROUGH GRADING.
8. PLACE FILL MATERIAL.
9. INSTALL REMAINING UTILITIES.
10. COMPLETE FINAL GRADING OF PONDS, INSTALL IRRIGATION LINES, & FINALIZE IMPROVEMENTS.
11. INSTALL PERMANENT EROSION CONTROLS.
12. COMPLETE AND CLEAN OUT PERMANENT EROSION CONTROL. FILTER MEDIA WILL BE INSTALLED PRIOR TO CONCURRENTLY WITH REVEGETATION OF SITE. REVEGETATE DISTURBED AREAS, INCLUDING THE REMOVAL OF TEMPORARY EROSION SEDIMENTATION CONTROLS AND TREE PROTECTION OR EXECUTE A DEVELOPERS CONTRACT FOR THE REVEGETATION ALONG WITH THE ENGINEER'S CONCURRENCE LETTER SUBMITTED TO THE CITY AFTER THE ENGINEER INSPECTS THE SITE. RESTORE ANY AREAS DISTURBED DURING REMOVAL OF EROSION SEDIMENTATION CONTROLS.

Texas Commission on Environmental Quality  
Contributing Zone Plan  
General Construction Notes

1. Written construction notification should be provided to the appropriate TCEQ regional office no later than 48 hours prior to commencement of the regulated activity. Information should include the date on which the regulated activity will commence, the name of the approved plan for the regulated activity, and the name of the prime contractor with the name and telephone number of the contact person.
2. All contractors conducting regulated activities associated with this project should be provided with complete copies of the approved Contributing Zone Plan and the TCEQ letter indicating the specific conditions of its approval. During the course of these regulated activities, the contractor(s) should keep copies of the approved plan and approval letter on-site.
3. No temporary aboveground hydrocarbon and hazardous substance storage tank system may be installed within 150 feet if a domestic, industrial, irrigation, or public water supply well.
4. Prior to commencing construction, all temporary erosion and sedimentation (E&S) control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. Controls specified in the SWPPP section of the approved Edwards Aquifer Contributing Zone Plan are required during construction. If inspections indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations. The controls must remain in place until disturbed areas are revegetated and the areas have become permanently stabilized.
5. If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
6. Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake must be provided that can indicate when the sediment occupies 50% of the basin volume.
7. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
8. All spoils (excavated material) generated from the project site and stored on-site must have proper E&S controls installed.
9. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
10. The following records should be maintained and made available to the TCEQ upon request: the dates when major grading activities occur; the dates when construction activities temporarily or permanently cease on a portion of the site; and the dates when stabilization measures are initiated.
11. The holder of any approved Contributing Zone plan must notify the appropriate regional office in writing and obtain approval from the executive director prior to initiating any of the following:

- A. any physical or operational modification of any best management practices or structure(s), including but not limited to temporary or permanent ponds, dams, berms, silt fences, and diversionary structures;
- B. any change in the nature or character of the regulated activity from that which was originally approved;
- C. any change that would significantly impact the ability to prevent pollution of the Edwards Aquifer and hydrologically connected surface water; or
- D. any development of land previously identified in a contributing zone plan as undeveloped.

Austin Regional Office  
2800 S. IH 35, Suite 100  
Austin, Texas 78704-5712  
Phone (512) 339-2929  
Fax (512) 339-3795

San Antonio Regional Office  
14250 Judson Road  
San Antonio, Texas 78233-4480  
Phone (210) 490-3096  
Fax (210) 545-4329

THESE GENERAL CONSTRUCTION NOTES MUST BE INCLUDED ON THE CONSTRUCTION PLANS PROVIDED TO THE CONTRACTOR AND ALL SUBCONTRACTORS.

EROSION CONTROL NOTES

1. DESIGNATION OF AN ENVIRONMENTAL PROJECT MANAGER WHO IS ON SITE 90% OF THE TIME, WHO IS REQUIRED TO BE AT THE PRE-CONSTRUCTION AND MID-CONSTRUCTION MEETINGS, AND IS RESPONSIBLE FOR COMPLIANCE ON SITE OF THE TEMPORARY EROSION AND SEDIMENTATION CONTROLS. THE ENVIRONMENTAL PROJECT MANAGER IS RESPONSIBLE FOR ENSURING COMPLIANCE OF THE CONTROLS DURING THE CONSTRUCTION PERIOD. SHOULD THE PROJECT MANAGER NEED TO BE ABSENT FROM THE SITE FOR AN EXTENDED PERIOD (IN EXCESS OF ONE WEEK), THE ENVIRONMENTAL INSPECTOR WITH THE WATERSHED PROTECTION DEPARTMENT SHOULD BE INFORMED OF THE NAME OF A DESIGNATED REPLACEMENT.
2. THE MAXIMUM LENGTH OF TIME BETWEEN CLEARING AND FINAL REVEGETATION OF A PROJECT SHALL NOT EXCEED 18 MONTHS, UNLESS EXTENDED BY THE DIRECTOR OF THE WATERSHED PROTECTION DEPARTMENT. (THIS DOES NOT AFFECT THE EXPIRATION OF THE SITE PLAN OR BUILDING PERMIT. THIS REQUIREMENT APPLIES TO SITES THAT HAVE SUSPENDED WORK AND ARE EXPERIENCING EROSION CONTROL PROBLEMS DUE TO DISTURBED SOIL CONDITIONS). DISTURBED AREAS MUST BE MAINTAINED TO PREVENT EROSION AND SEDIMENT LOADING OF ANY WATERWAYS OR DRAINAGE FACILITIES.
3. IT IS A VIOLATION OF THE CODE AND THIS DEVELOPMENT PERMIT TO ALLOW SEDIMENT FROM A CONSTRUCTION SITE TO ENTER A CLASSIFIED WATERWAY DUE TO A FAILURE TO MAINTAIN THE REQUIRED EROSION AND SEDIMENTATION CONTROLS OR TO FOLLOW THE APPROVED CONSTRUCTION SEQUENCE.
4. A MID-CONSTRUCTION CONFERENCE IS REQUIRED FOR EACH PHASE, IF PHASING IS PROPOSED, WITH THE WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT STAFF, WHICH WILL BE COORDINATED BASED UPON COMPLETION OF BUILDINGS, DRAINAGE FACILITIES, WATER QUALITY CONTROLS AND TEMPORARY EROSION CONTROLS BY PHASE.
5. AT ALL TIMES CONTRACTORS SHALL INSPECT TEMPORARY CONTROLS ON A REGULAR BASIS, REMOVE ANY SEDIMENT BUILDUP, AND COMPLY WITH THE REQUIREMENTS OF THE TEXAS POLLUTANT EXCLUSION ELIMINATION SYSTEM STORM WATER POLLUTION PREVENTION PLAN.

APPENDIX P-1 - EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR EXCAVATION).
2. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE ENVIRONMENTAL CRITERIA MANUAL AND THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
3. THE PLACEMENT OF TREE/NATURAL AREA PROTECTIVE FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF AUSTIN STANDARD NOTES FOR TREE AND NATURAL AREA PROTECTION AND THE APPROVED GRADING/TREE AND NATURAL AREA PLAN.
4. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD ON-SITE WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT AND ENVIRONMENTAL INSPECTOR AFTER INSTALLATION OF THE EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTION MEASURES AND PRIOR TO BEGINNING ANY SITE PREPARATION WORK. THE CONTRACTOR SHALL NOTIFY THE CITY OF BEE CAVE, AT LEAST THREE DAYS PRIOR TO THE MEETING DATE.
5. ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST OR CITY ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE SUBMITTED TO THE DESIGN AND DEVELOPMENT REVIEW DEPARTMENT. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES.
6. THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES.
7. PRIOR TO FINAL ACCEPTANCE BY THE CITY, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED. ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA STORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING DEBRIS SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
8. ALL WORK MUST STOP IF A VOID IN THE ROCK SUBSTRATE IS DISCOVERED WHICH IS; ONE SQUARE FOOT IN TOTAL AREA; BLOWS AIR FROM WITHIN THE SUBSTRATE AND/OR CONSISTENTLY RECEIVES WATER DURING ANY RAIN EVENT. AT THIS TIME IT IS THE RESPONSIBILITY OF THE PROJECT MANAGER TO IMMEDIATELY CONTACT A CITY OF BEE CAVE INSPECTOR FOR FURTHER INVESTIGATION.
9. TEMPORARY AND PERMANENT EROSION CONTROL: ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW.
- A. ALL DISTURBED AREAS TO BE REVEGETATED ARE REQUIRED TO PLACE A MINIMUM OF SIX (6) INCHES OF TOPSOIL [SEE STANDARD SPECIFICATION ITEM NO. 8015.3(A)]. DO NOT DO TOPSOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES. THE TOPSOIL SHALL BE COMPOSED OF 3 PARTS OF SOIL MIXED WITH 1 PART COMPOST, BY VOLUME. THE COMPOST SHALL BE DILLO DIRT OR AN EQUAL APPROVED BY THE ENGINEER, OR DECEMBER 2010 SUPPLEMENT APPENDIX 8/18/10 A-43 DESIGNATED REPRESENTATIVE, THE APPROVED EQUAL, IF USED, SHALL MEET THE DEFINITION OF COMPOST (AS DEFINED BY TxDOT SPECIFICATION ITEM 161). THE SOIL SHALL BE LOCALLY AVAILABLE NATIVE SOIL THAT MEETS THE FOLLOWING SPECIFICATIONS:
- SHALL BE FREE OF TRASH, WEEDS, DELETERIOUS MATERIALS, ROCKS, AND DEBRIS.
  - 100% SHALL PASS THROUGH A 0.375-INCH (3/8") SCREEN.
  - SOIL TEXTURE CLASS TO BE LOAM, SANDY CLAY LOAM, OR SANDY LOAM IN ACCORDANCE WITH THE USDA TEXTURE TRIANGLE. SOIL KNOWN LOCALLY AS "RED DEATH" OR AUSTIN SANDY LOAM IS NOT AN ALLOWABLE SOIL. TEXTURAL COMPOSITION SHALL MEET THE FOLLOWING CRITERIA:

TEXTURE CLASS	MINIMUM	MAXIMUM
CLAY	5%	25%
SILT	10%	50%
SAND	30%	80%

THE VEGETATIVE STABILIZATION OF AREAS DISTURBED BY CONSTRUCTION SHALL BE AS FOLLOWS:

TEMPORARY VEGETATIVE STABILIZATION:

1. FROM SEPTEMBER 15 TO MARCH 1, SEEDING SHALL BE WITH COOL SEASON COVER CROPS (WHEAT AT 0.5 POUNDS PER 1000 SF, OATS AT 0.5 POUNDS PER 1000 SF, CEREAL RYE GRASS AT 0.5 POUNDS PER 1000 SF) WITH A TOTAL RATE OF 1.5 POUNDS PER 1000 SF. COOL SEASON COVER CROPS ARE NOT PERMANENT EROSION CONTROL.
2. FROM MARCH 2 TO SEPTEMBER 14, SEEDING SHALL BE WITH MULLED BERMUDA AT A RATE OF 1 POUNDS PER 1000 SF.
- A. FERTILIZER SHALL BE WATER SOLUBLE WITH AN ANALYSIS OF 15-15-15 TO BE APPLIED ONCE AT PLANTING AND ONCE DURING THE PERIOD OF ESTABLISHMENT AT A RATE OF 1/2 POUND PER 1000 SF.
- B. HYDROMULCH SHALL COMPLY WITH TABLE 1, BELOW.
- C. TEMPORARY EROSION CONTROL SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1 1/2 INCHES HIGH WITH 95% COVERAGE, PROVIDED NO BARE SPOTS LARGER THAN 16 SQUARE FEET EXIST.
- D. WHEN REQUIRED, NATIVE GRASS SEEDING SHALL COMPLY WITH REQUIREMENTS OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL.

MATERIAL	DESCRIPTION	LONGEVITY	TYPICAL APPLICATIONS	APPLICATION RATES
100% OR ANY BLEND OF WOOD, CELLULOSE, STRAW, AND/OR COTTON PLANT MATERIAL (EXCEPT NO MULCH SHALL EXCEED 30% PAPER)	70% OR GREATER WOOD/STRAW, 30% OR LESS PAPER OR NATURAL FIBERS	0-3 MONTHS	MODERATE SLOPES; FROM FLAT TO 3:1	1500 TO 2000 LBS PER ACRE

PERMANENT VEGETATIVE STABILIZATION:

1. From September 15 to March 1, seeding is considered to be temporary stabilization only. If cool season cover crops exist where permanent vegetative stabilization is desired, the grass shall be mowed to a height of less than one-half (1/2) inch and the area shall be re-seeded in accordance with 2. below.
2. From March 2 to September 14, seeding shall be with hulled Bermuda at a rate of 1 pound per 1000 SF with a purity of 95% with 85% germination. Bermuda grass is a warm season grass and is considered permanent erosion control.

A. Fertilizer shall be a water soluble with an analysis of 15-15-15 to be applied once at planting and once during the period of establishment at a rate of 1/2 pound per 1000 SF.

B. Hydromulch shall comply with Table 2, below.

C. The planted area shall be irrigated or sprinkled in a manner that will not erode the topsoil, but will sufficiently soak the soil to a depth of six inches. The irrigation shall occur at daily intervals (minimum) during the first two months. Rainfall occurrences of 1/2 inch or more shall postpone the watering schedule for one week.

D. Permanent erosion control shall be acceptable when the grass has grown at least 1 1/2 inches high with 95% coverage, provided no bare spots larger than 16 square feet exist.

E. When required, native grass seeding shall comply with requirements of the City of Austin Environmental Criteria Manual.

December 2010 Supplement Appendix 8/18/10 A-64A

Table 2: Hydromulching for Permanent Vegetative Stabilization

MATERIAL	DESCRIPTION	LONGEVITY	TYPICAL APPLICATIONS	APPLICATION RATES
BONDED FIBER MATRIX (BFM)	80% ORGANIC DEBRATED FIBERS 10% TACKIFIER	6 MONTHS	ON SLOPES UP TO 2:1 AND ERODIBLE SOIL CONDITIONS	2500 TO 4000 LBS PER ACRE (SEE MANUFACTURERS RECOMMENDATIONS)
FIBER REINFORCED MATRIX (FRM)	85% ORGANIC DEBRATED FIBERS 25% REINFORCING FIBERS OR LESS 10% TACKIFIER	UP TO 12 MONTHS	ON SLOPES UP TO 1:1 AND ERODIBLE SOIL CONDITIONS	3000 TO 4500 LBS PER ACRE (SEE MANUFACTURERS RECOMMENDATIONS)

10. Developer Information:

Owner THE JENKINS ORGANIZATION Phone # 512-743-5553

Address 4800 MUELLER BLVD., SUITE 1003 AUSTIN, TEXAS 78723

Owner's representative responsible for plan alterations:

LJA ENGINEERING INC. Phone # 512-439-4700

Person or firm responsible for erosion/sedimentation control maintenance:

Phone # \_\_\_\_\_

Person or firm responsible for tree/natural area protection maintenance:

Phone # \_\_\_\_\_

11. The contractor shall not dispose of surplus excavated material from the site without notifying the City of Bee Cave at 767-6600 at least 48 hours prior with the location and a copy of the permit issued to receive the material.

CITY OF BEE CAVE STANDARD NOTES  
FOR TREE AND NATURAL AREA PROTECTION

1. All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.
2. Protective fences shall be erected according to City of Austin Standards for Tree Protection.
3. Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
4. Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
5. Protective fences shall surround the trees or group of trees, and will be located at the outermost limit of branches (drip line). For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
- A. Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
  - B. Root zone disturbances due to grade changes (greater than 6 inches out or fill), or trenching not reviewed and authorized by the City Arborist;
  - C. Wounds to exposed roots, trunk or limbs by mechanical equipment;
  - D. Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
6. Exceptions to installing fences at tree drip lines may be permitted in the following cases:

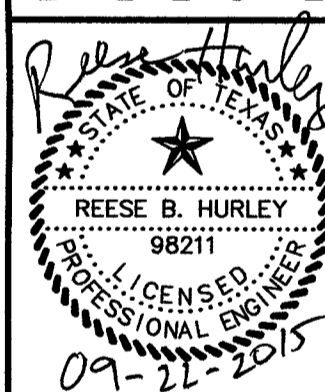
- A. Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
- B. Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately prior to paving installation to minimize root damage);
- C. Where trees are close to proposed buildings, erect the fence to allow 8 to 10 feet of work space between the fence and the building;
- D. Where there are severe space constraints due to tract size, or other special requirements, contact the City Arborist at 974-1876 to discuss alternatives.

Special Note: For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted.

7. Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planning to a height of 8 ft. (or to the limits of lower branching) in addition to the reduced fencing provided.
8. Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
9. Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
10. Any trenching required for the installation of landscape irrigation shall be placed as far from existing tree trunks as possible.
11. No landscape topsoil dressing greater than 4 inches shall be permitted within the drip line of trees. No soil is permitted on the root flare of any tree.
12. Pruning to provide clearance for structures, vehicular traffic and equipment shall take place before damage occurs (ripping of branches, etc.).
13. All finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees available on request from the City Arborist).
14. Deviations from the above notes may be considered ordinance violations if there is substantial non-compliance or if a tree sustains damage as a result.

BEE CAVE SELF-STORAGE  
CONCEPT PLAN  
GENERAL NOTES & DETAILS

REVISIONS	DESCRIPTION	BY	DATE
NO.			
9/21/2015	REH	JTS	
DESIGNED BY:	REH	JTS	
DRAWN BY:			
CHECKED BY:			
FILE NAME:			



**LJA Engineering, Inc.**  
Phone 512.439.4700  
Fax 512.439.4716  
5316 Highway 290 West  
Suite 150  
Austin, Texas 78735  
FRNLF-1388



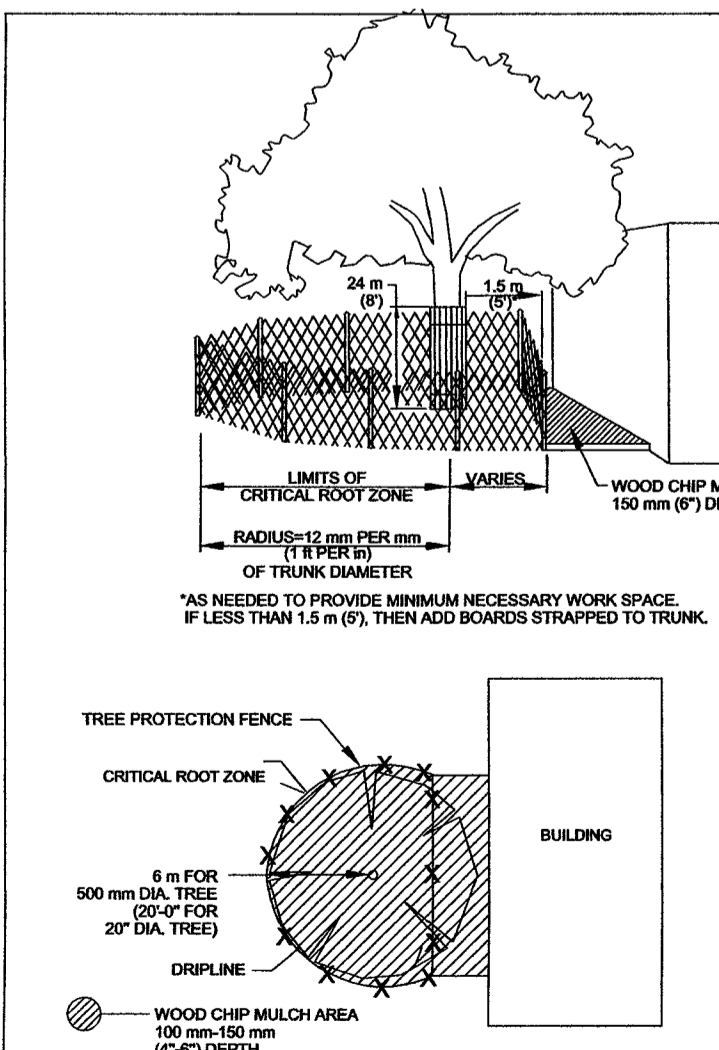
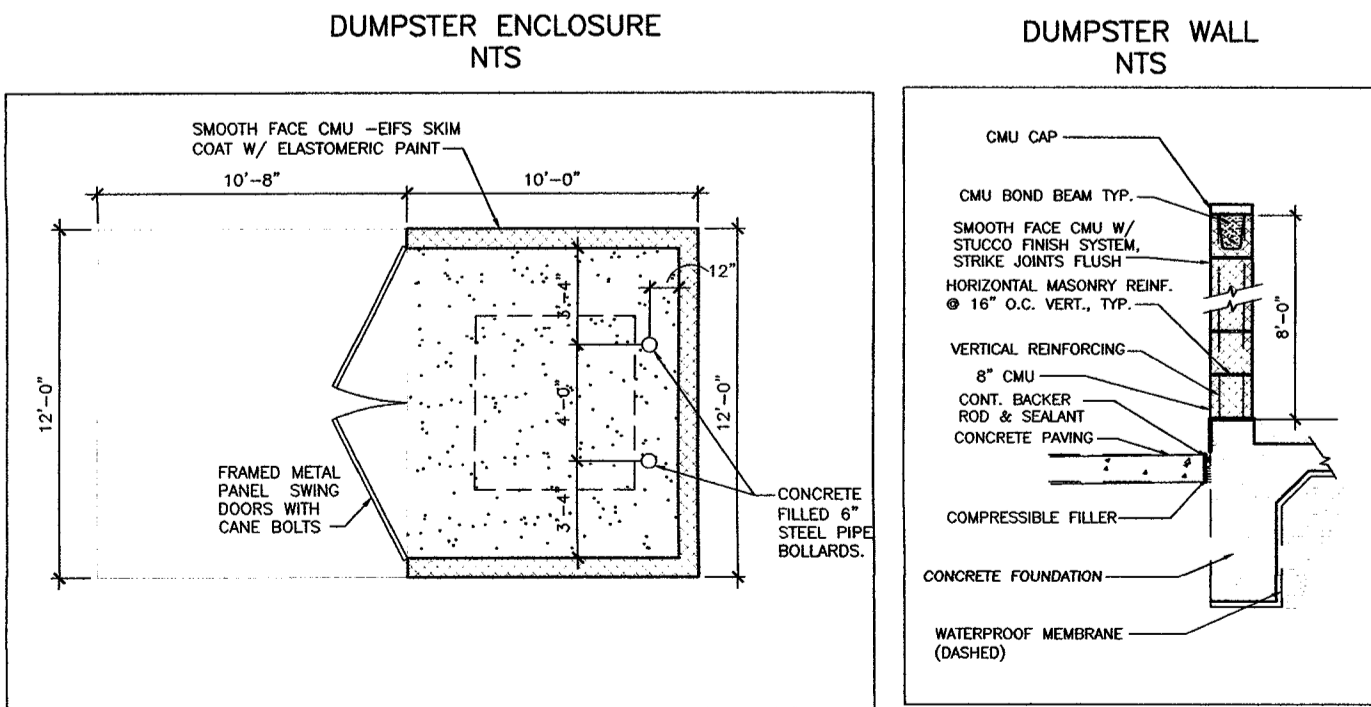
SITE PLAN RELEASE

FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_  
APPROVED BY PLANNING COMMISSION ON: \_\_\_\_\_  
APPROVED BY CITY COUNCIL ON: \_\_\_\_\_  
UNDER SECTION \_\_\_\_\_ OF CHAPTER \_\_\_\_\_ OF THE AUSTIN CITY CODE.

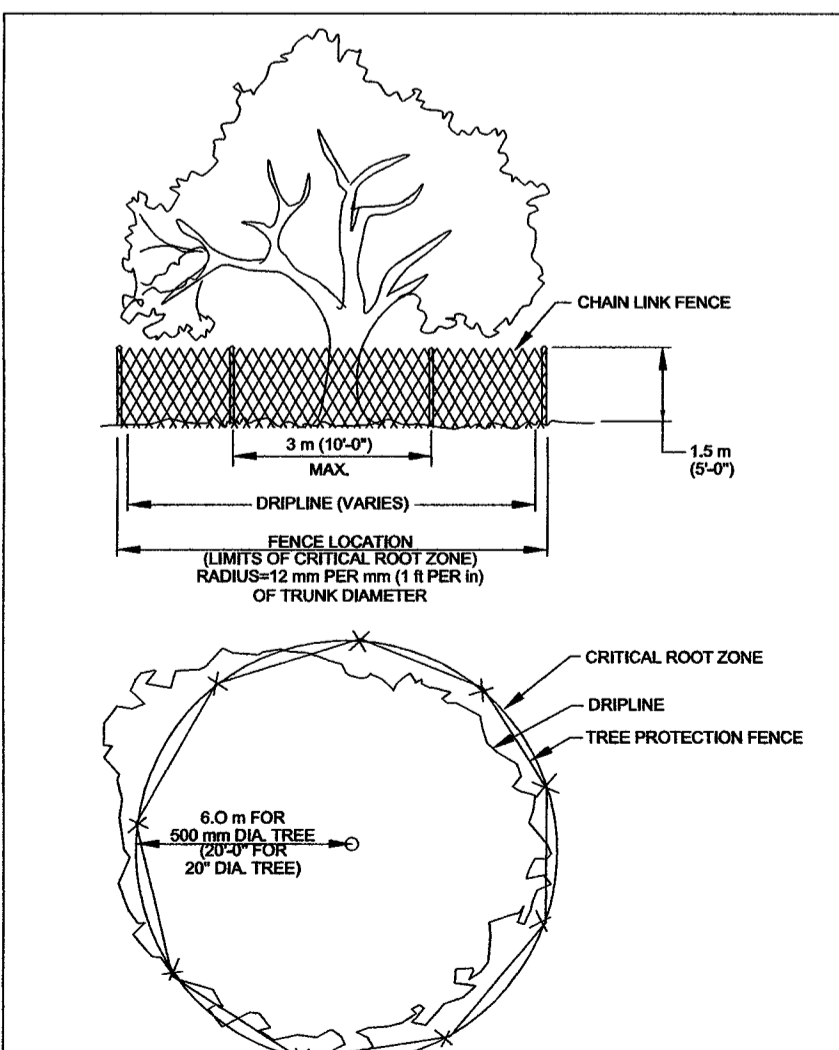
DIRECTOR FOR PLANNING AND DEVELOPMENT DEPARTMENT

DATE OF RELEASE: \_\_\_\_\_ ZONING: \_\_\_\_\_  
REV. NO. 1 \_\_\_\_\_ CORRECTION NO. 1 \_\_\_\_\_  
REV. NO. 2 \_\_\_\_\_ CORRECTION NO. 2 \_\_\_\_\_  
REV. NO. 3 \_\_\_\_\_

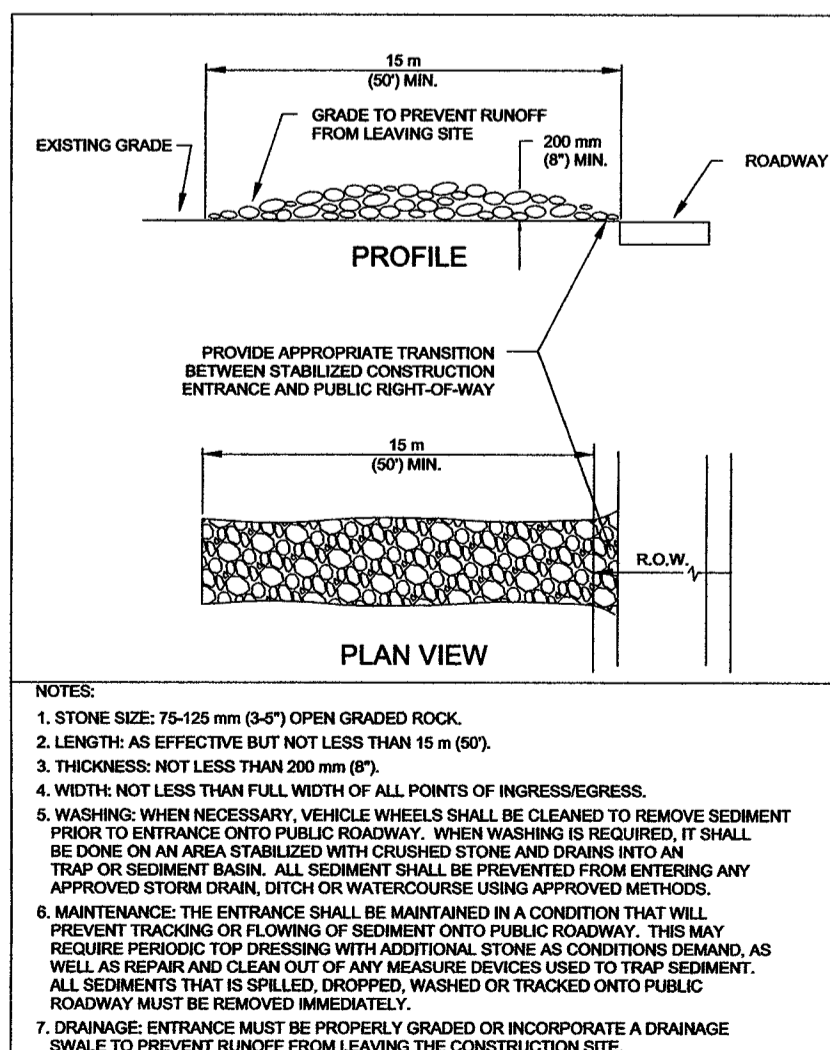
RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.



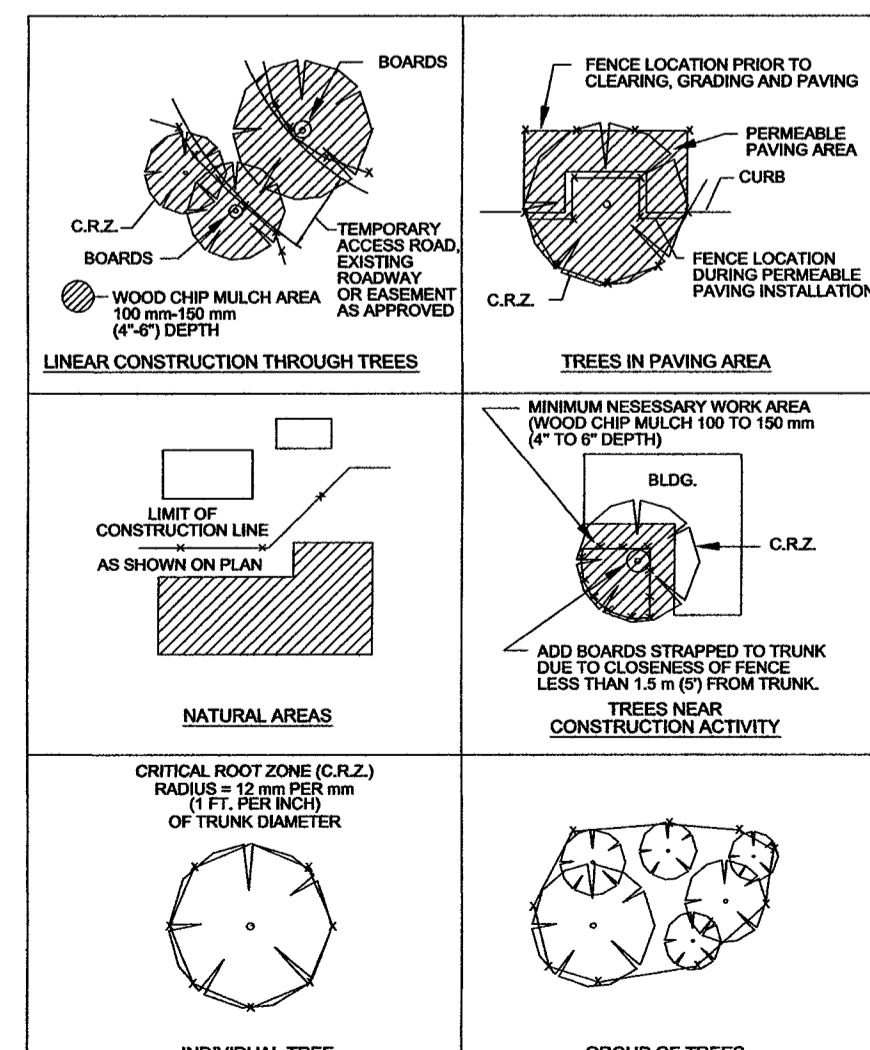
CITY OF AUSTIN  
WATERSHED PROTECTION DEPARTMENT  
RECORD COPY SIGNED BY J. PATRICK MURPHY  
11/15/09  
APPROVED  
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.  
STANDARD NO. 610S-4



CITY OF AUSTIN  
WATERSHED PROTECTION DEPARTMENT  
RECORD COPY SIGNED BY J. PATRICK MURPHY  
11/15/09  
APPROVED  
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.  
STANDARD NO. 610S-2



CITY OF AUSTIN  
WATERSHED PROTECTION DEPARTMENT  
RECORD COPY SIGNED BY J. PATRICK MURPHY  
11/15/09  
APPROVED  
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.  
STANDARD NO. 641S-1



CITY OF AUSTIN  
WATERSHED PROTECTION DEPARTMENT  
RECORD COPY SIGNED BY J. PATRICK MURPHY  
11/15/09  
APPROVED  
THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.  
STANDARD NO. 610S-1



TREE INDEX			
TAG NO.	TYPE	INDICATES MULTI TRUNK	
	514	LO	17 14 11
INDIVIDUAL TRUNK DIA. (IN INCHES)			
CRITICAL ROOT ZONES (TREE CIRCLES) ARE SHOWN USING THE COA FORMULA FOR SINGLE AND MULTI TRUNK TREES.			
CB	CHINABERRY	LO	LIVE OAK
CDR	CEDAR	MSQ	MESQUITE

#### TREE LIST

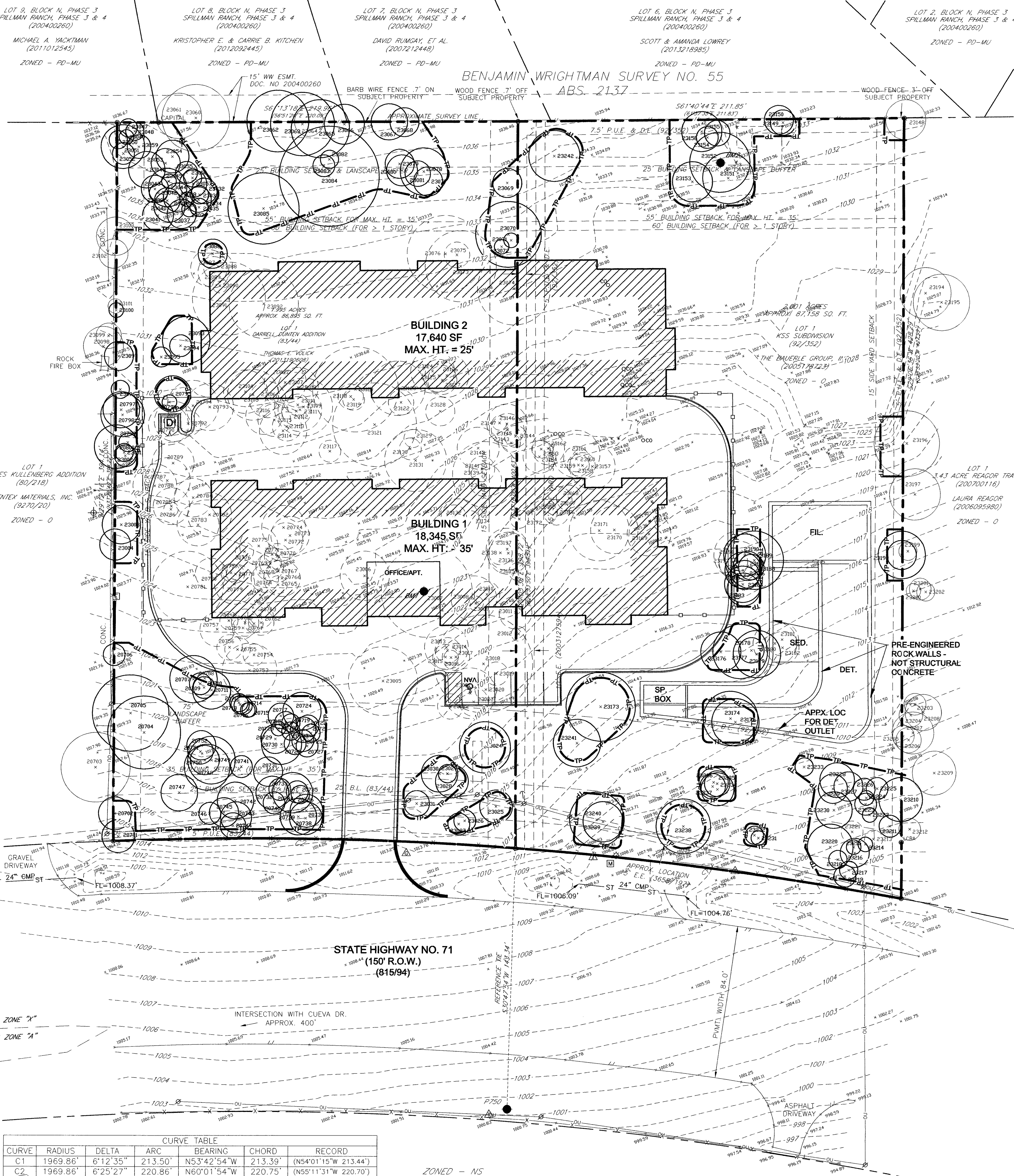
20701 LO 7.4	23008 CB 7.4	23122 LO 7
20702 CDR 9	23009 CB 9	23123 LO 9.55
20704 LO 12.8	23010 CB 4.33	23124 LO 12
20705 CDR 9.76.65	23011 CDR 5.44	23125 LO 9
20706 CDR 6	23012 CDR 4	23126 LO 12
20707 CDR 13	23013 LO 6.65	23127 LO 8
20708 LO 4	23014 LO 7	23128 CDR 8
20709 LO 6	23015 LO 5.4	23129 CDR 6
20710 LO 6	23016 LO 4	23130 CDR 6
20711 LO 7.7	23017 LO 4.43	23131 LO 10.86
20712 LO 5	23018 LO 9.88.7.76	23132 LO 7
20713 LO 5	23019 CDR 4.32	23133 LO 6.5
20714 LO 5	23020 LO 6	23134 CDR 4
20715 LO 4	23021 LO 10.8	23135 CDR 5
20716 LO 4	23022 CDR 7	23136 CDR 5.43.33
20717 CDR 7	23023 LO 8	23137 LO 6.65
20718 MSQ 6	23024 LO 14	23138 CDR 5.3
20719 LO 5	23025 LO 9	23139 CDR 11.95
20720 LO 5	23026 LO 9	23140 LO 9
20721 LO 7	23027 LO 6	23141 LO 7
20722 LO 6	23028 LO 9	23142 CDR 8.43
20723 LO 5	23029 LO 5	23143 CDR 5
20724 CDR 7.7	23030 LO 10	23144 CDR 6
20725 LO 6	23031 LO 7	23145 LO 9
20726 LO 6	23032 LO 7	23146 LO 11
20727 LO 6	23033 LO 5	23147 CDR 4
20728 CDR 4	23034 LO 7	23149 CDR 4.33
20729 LO 8	23035 CDR 5	23150 CDR 8
20730 LO 8.6	23036 CDR 4	23151 LO 14
20731 LO 8	23037 LO 8	23152 LO 13.7
20732 LO 6.6	23038 LO 8	23153 LO 11
20733 LO 6	23039 LO 7	23154 LO 6
20734 LO 6.64	23040 CDR 4.33.33	23155 LO 7
20735 LO 6	23041 CDR 4.33.33	23156 LO 11
20736 LO 5	23042 CDR 5	23157 LO 9.7
20737 LO 9	23043 CDR 4.43	23158 LO 7
20738 LO 9	23044 LO 8.5	23159 LO 6
20739 LO 7.6	23045 CDR 4	23160 LO 7
20740 LO 6	23046 LO 10	23161 LO 7.75
20741 CDR 6	23047 CDR 5	23162 LO 9
20742 LO 7.6	23048 CDR 5	23163 LO 5
20743 LO 6.5	23049 CDR 4	23164 LO 7.4
20744 LO 7	23050 CDR 5	23165 LO 7
20745 LO 8	23051 LO 10.4	23166 LO 7
20746 LO 6	23052 CDR 6	23167 LO 8
20747 CDR 5.53	23053 LO 8	23168 LO 7
20748 LO 9.7	23054 LO 8	23169 LO 12
20749 LO 9.8	23055 CDR 6	23170 LO 13
20750 LO 8	23056 CDR 5	23171 LO 12.9
20751 LO 7	23057 CDR 4.2	23172 LO 4.2
20752 LO 8	23058 LO 4	23173 LO 19
20753 LO 11.8	23059 CDR 5.3	23174 LO 15
20754 LO 9	23060 CDR 7.65.33.33	23175 LO 13
20755 LO 7	23061 CDR 7.65.33.33	23176 LO 11
20756 LO 7	23062 LO 16	23177 LO 15
20757 LO 7.5	23063 CDR 9.4	23178 LO 7
20758 CDR 6	23064 CDR 8.4	23179 LO 13
20759 LO 6	23065 CDR 8	23180 LO 12
20760 LO 5.5	23066 LO 8	23181 LO 9
20761 LO 5	23067 LO 18	23182 LO 9
20762 LO 7	23068 LO 9	23183 LO 9
20763 LO 7	23069 CDR 4	23184 LO 10
20764 CDR 6.3	23070 LO 14.11	23185 LO 8
20765 LO 5	23071 LO 20	23186 LO 10
20766 LO 5.55	23072 LO 7	23187 LO 8
20767 LO 6	23073 LO 15.12	23188 LO 7
20768 LO 5.5	23074 LO 8	23189 LO 11.10
20769 LO 6	23075 LO 9.8	23190 LO 8.7
20770 LO 5.4	23076 LO 8	23191 LO 8.8
20771 LO 4	23077 LO 6.5	23192 LO 11
20772 LO 7.6	23078 LO 7	23193 LO 9
20773 LO 7.7	23079 CDR 5	23198 LO 13
20774 LO 12	23080 CDR 6	23210 LO 7.5
20775 LO 8.5	23081 LO 14.13.86	23211 LO 4.4
20776 CDR 6	23082 LO 14.11	23212 LO 5
20777 CDR 5	23083 CDR 8	23214 LO 4
20778 CDR 5	23084 CDR 6.53	23215 LO 4
20779 LO 6.55	23085 LO 8	23216 LO 4
20780 CDR 4.3	23086 LO 7.3	23217 LO 5
20781 LO 11.110	23087 LO 4	23218 LO 5
20782 LO 12	23088 LO 9.8.7.7	23219 LO 8
20783 CDR 6.53.33	23089 LO 10	23220 LO 7.65
20784 CDR 6.54	23090 LO 9.8	23221 LO 4.4
20785 LO 10	23091 CDR 4.4	23222 LO 4
20786 CDR 4	23092 CDR 4.5	23223 LO 6
20787 CDR 8.33.33	23093 CDR 5	23224 LO 4
20788 LO 12	23094 CDR 8	23225 LO 6
20789 LO 9.5	23095 CDR 4	23226 LO 6
20790 LO 11	23104 LO 12	23227 LO 8
20791 LO 11	23105 LO 10.8	23228 LO 7.5
20792 LO 7	23106 LO 10	23229 LO 8
20793 LO 13	23107 LO 9.5	23230 LO 6
20794 LO 14	23108 LO 11	23231 LO 4
20795 LO 10	23109 LO 11.10	23232 LO 5
20796 CDR 4	23110 LO 6	23233 LO 5
20797 LO 8	23111 LO 12	23234 LO 9
20798 LO 12	23112 LO 8	23235 LO 7
20799 CDR 5	23113 LO 8	23236 LO 8
20800 LO 8.53	23114 LO 9.8	23237 LO 7
23001 LO 5	23115 LO 9	23238 LO 11.8
23002 LO 6	23116 LO 8.4	23239 LO 11
23003 CDR 6.33.33	23117 LO 5	23240 LO 15
23004 CDR 4.33.33	23118 LO 7	23241 LO 13
23005 LO 19	23119 LO 6	23242 LO 14
23006 LO 11.5	23120 LO 18.15	
23007 LO 25	23121 LO 18.10	

#### EXISTING TREE INVENTORY

CLASS	SAVED (#)	SAVED (IN.)	REMOVED (#)	REMOVED (IN.)
SPECIMEN 12"+	32	487	38	599.5
PROTECTED 4-11"	146	1028.5	97	738
<b>TOTALS</b>	<b>178</b>	<b>1515.5</b>	<b>135</b>	<b>1337.5</b>
<b>TOTAL INCHES SURVEYED</b>				<b>2853</b>

MITIGATION REQUIRED = 60% = 1,712"

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	1969.86'	6°12'35"	213.50'	N53°42'54"W	213.39'
C2	1969.86'	6°25'27"	220.86'	N60°01'54"W	220.75'



30 15 0 30 60  
SCALE IN FEET

**LEGEND**

PROPOSED	EXISTING	LIMITS OF CONSTRUCTION
LOC	LOC	SILT FENCE
SF	SF	LIMITS OF CONST./SILT FENCE
LOC/SF	LOC/SF	TREE PROTECTION
TP	TP	INLET PROTECTION
IP	IP	ROCK BERM
RB	RB	STABILIZED CONSTRUCTION ENTRANCE
SCE	SCE	CONSTRUCTION STAGING / SPOILS / VEHICLE USE LOCATION
		TREE TO REMAIN
		TREE TO BE REMOVED
800	800	CONTOURS
ST	ST	STORM SEWER LINE
WW	WW	WASTEWATER LINE
WL	WL	WATER LINE

- NOTES:**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT LIMBS AND ROOT SYSTEMS OF ALL TREES OUTSIDE LIMITS BY NOT PARKING UNDER TREES, NOT DRIVING EQUIPMENT OVER ROOT ZONES AND NOT STORING MATERIALS UNDER TREES. PROTECTION OF VEGETATION TO REMAIN SHALL INCLUDE NOT ONLY HARDWOODS, BUT CEDARS AND UNDERBRUSH.
  - ALL VEGETATION WITHIN LIMITS OF CONSTRUCTION AND NOT LOCATED WITHIN AREAS OF CUT/FILL SHALL BE PROTECTED TO THE EXTENT FEASIBLE.
  - TREES TO REMAIN THAT ARE LOCATED INSIDE THE 3" FENCE AND/OR ORANGE MESH FENCE SHALL HAVE TREE PROTECTION FENCING.
  - ALL STORM DRAIN LINES ARE TO BE AT A MINIMUM OF FIVE FEET FROM CENTERLINE OF PIPE TO FACE OF TREE. ANY STORM DRAIN LINES TO BE PLACED WITHIN A TREE'S DRIP LINE MUST BE SAWCUT PRIOR TO TRENCHING.
  - PRIOR TO EXCAVATION WITHIN TREE DRIP LINES, OR THE REMOVAL OF TREES ADJACENT TO OTHER TREES THAT ARE TO REMAIN, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE ROOT DAMAGE.
  - IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION WITH FENCING, AND WHERE HEAVY VEHICULAR TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH FOUR (4) INCHES OF ORGANIC MULCH TO BE PRODUCED ON SITE, TO MINIMIZE SOIL COMPACTION.
  - PERFORM ALL GRADING WITHIN CRITICAL ROOT ZONE AREAS WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.
  - WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY AS NECESSARY DURING PERIODS OF HOT, DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
  - WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
  - THE ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD OR MODIFY EROSION / SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF BEE CAVE RULES AND REGULATIONS.

**811**  
Know what's below.  
Call before you dig.

**SITE PLAN RELEASE**

FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_  
APPROVED BY PLANNING COMMISSION ON: \_\_\_\_\_  
APPROVED BY CITY COUNCIL ON: \_\_\_\_\_  
UNDER SECTION \_\_\_\_\_ OF CHAPTER \_\_\_\_\_ OF THE AUSTIN CITY CODE.

DIRECTOR FOR PLANNING AND DEVELOPMENT DEPARTMENT

DATE OF RELEASE: \_\_\_\_\_ ZONING: \_\_\_\_\_  
REV. NO. 1 \_\_\_\_\_ CORRECTION NO. 1 \_\_\_\_\_  
REV. NO. 2 \_\_\_\_\_ CORRECTION NO. 2 \_\_\_\_\_  
REV. NO. 3 \_\_\_\_\_

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

**BEE CAVE SELF-STORAGE**  
**CONCEPT PLAN**  
**TREE PROTECTION PLAN**

DATE: 9/21/2015  
DESIGNED BY: RBH  
DRAWN BY: JTS  
CHECKED BY: \_\_\_\_\_  
FILE NAME: A312-401-Concept Tree Plan

**LJA Engineering, Inc.**  
5316 Highway 290 West  
Suite 150  
Austin, Texas 78735  
Phone 512.539.4700  
Fax 512.539.4716  
FRNF-1388

JOB NUMBER: A312-401  
**TP01**  
SHEET NO. **4**  
OF 8 SHEETS

### Bee Cave Self-Storage - Site & Impervious Cover Calculations

Gross Site Area = 3.996 Ac.  
Net Site Area = 3.996 Ac.

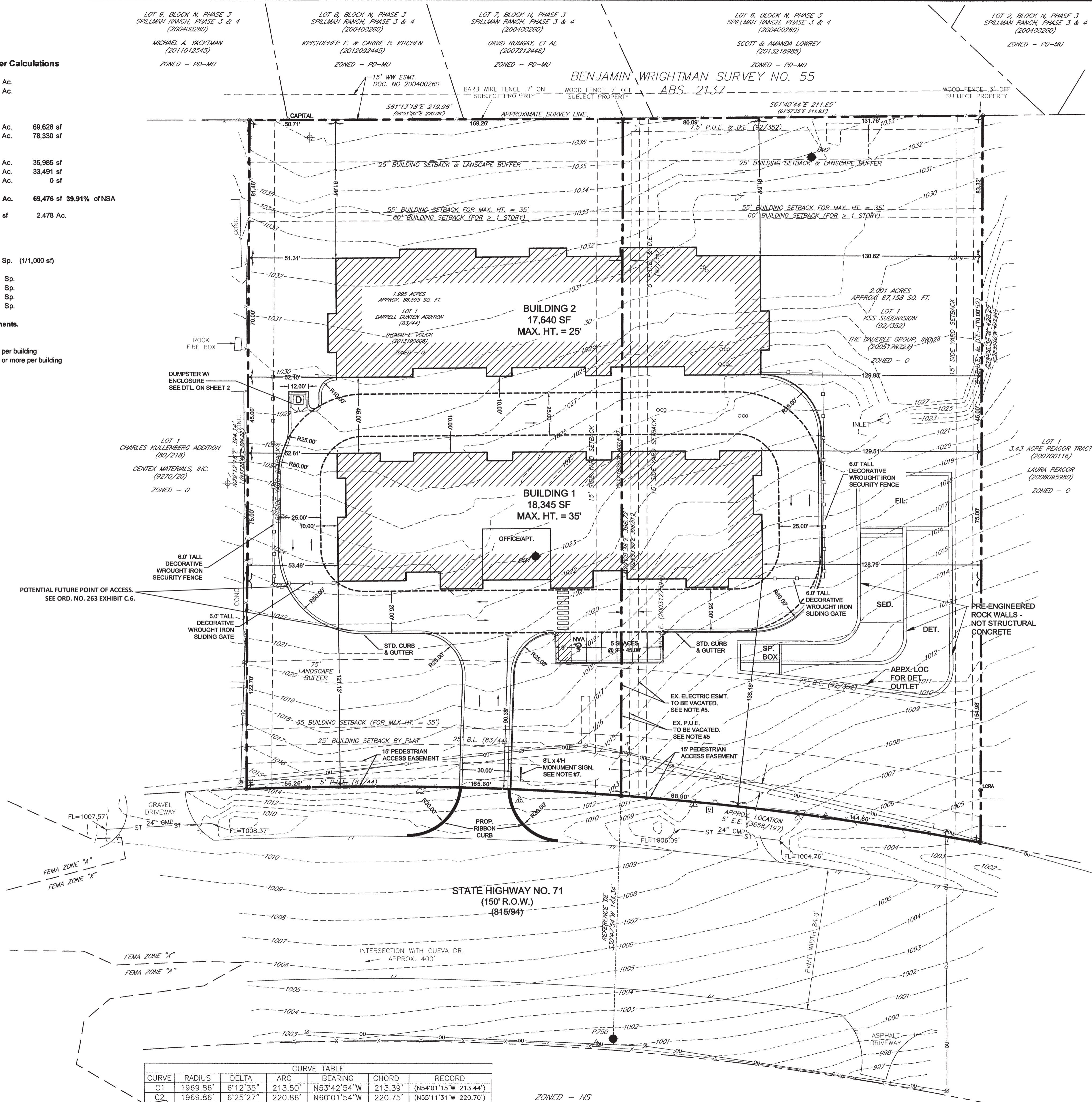
Allowable Impervious Cover = 1.598 Ac. 69,626 sf  
40% Net Site Area  
45% Net Site Area w/ RW Harvesting = 1.798 Ac. 78,330 sf

Proposed Impervious Cover = 0.826 Ac. 35,985 sf  
Building Coverage = 0.769 Ac. 33,491 sf  
Parking / Driveways / Pmnt = 0.000 Ac. 0 sf  
Concrete Sidewalks = 0.000 Ac. 0 sf  
Total Proposed IC = 1.595 Ac. 69,476 sf 39.91% of NSA  
G.S.F. = 107,955 sf 2,478 Ac.

Parking Calculations = 108 Sp. (1/1,000 sf)  
Required Parking = 108 Sp. (1/1,000 sf)  
Provided Parking = 108 Sp. (1/1,000 sf)  
Standard Spaces = 5 Sp.  
Accessible Spaces = 1 Sp.  
Compact Spaces = 0 Sp.  
Total Spaces = 6 Sp.

\* Owner is requesting a variance to the parking requirements.

Loading Spaces = 2 per building  
Required Loading Spaces = 2 per building  
Provided Loading Spaces = 3 or more per building



CURVE TABLE						
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD	RECORD
C1	1969.86'	6°12'35"	213.50'	N53°42'54"W	213.39'	(N54°01'15"W 213.44')
C2	1969.86'	6°25'27"	220.86'	N60°01'54"W	220.75'	(N55°11'31"W 220.70')



### LEGEND

PROPOSED	EXISTING	
		STANDARD CURB & GUTTER
		RIBBON CURB
		PROPERTY BOUNDARY
		FIRE LANE
		ACCESSIBLE ROUTE
		ACCESSIBLE PARKING
		CROSSWALK
		STORM SEWER LINE
		1/2" REBAR FOUND (OR AS NOTED)
		1/2" REBAR WITH CAP FOUND
		1/2" REBAR WITH CHAPARRAL CAP SET
		WATER METER
		UTILITY POLE
		OVERHEAD UTILITIES
		ELEC. UTILITY
		ELEC. MANHOLE
		ELEC. MANHOLE
		LIGHT POLE
		TELEPHONE UTILITY
		UNDERGROUND GAS MARKER
		EXISTING FENCE
		TRAFFIC FLOW ARROW

### NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS ADJACENT TO BACK OF CURB SHALL BE 5' WIDE. ALL OTHER SIDEWALKS SHALL BE 4' WIDE UNLESS OTHERWISE NOTED.
- ALL PAVEMENT SHALL BE CONCRETE WITH CURB AND GUTTER.
- EXISTING EASEMENTS ON THE PROPERTY SHALL BE VACATED, AS REQUIRED, AT SUCH TIME WHEN THE TWO PROPERTIES ARE RE-PLATTED INTO ONE LOT.
- NO OUTSIDE STORAGE, INCLUDING BUT NOT LIMITED TO VEHICULAR AND BOAT, WILL BE PERMITTED ON THIS SITE.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH CHAPTER 28 OF THE CITY OF BEE CAVE'S CODE OF ORDINANCES.

### BENCHMARK INFORMATION:

BM1: COTTON SPINDLE SET IN A 25' LIVE OAK WITH TAG #23007 LOCATED ON LOT 1 (DUNTEEN ADD.) APPROX. 50' S.E. OF THE S.E. CORNER OF A CONCRETE SLAB AND APPROX. 90' N.W. OF A POWER POLE ON THE EAST BOUNDARY LINE THAT IS AT THE INTERSECTION OF A BARBED WIRE FENCE AND A WOOD PRIVACY FENCE. ELEVATION = 1024.35'

BM2: COTTON SPINDLE SET IN A 13' LIVE OAK WITH TAG #23152 LOCATED ON LOT 1 (KSS SUBD.) APPROX. 28' N.E. OF THE N.E. CORNER OF A 3187 SQ FT WOOD BUILDING AND APPROX. 9' N.W. OF THE S.W. CORNER OF A CONCRETE SLAB CONTAINING A TIN SHED. ELEVATION = 1033.78'  
VERTICAL DATUM: NAVD 88 (GEOID 09)

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



### SITE PLAN RELEASE

FILE NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_  
CASE MANAGER: \_\_\_\_\_ APPLICATION DATE: \_\_\_\_\_  
APPROVED ADMINISTRATIVELY ON: \_\_\_\_\_  
APPROVED BY PLANNING COMMISSION ON: \_\_\_\_\_  
APPROVED BY CITY COUNCIL ON: \_\_\_\_\_  
UNDER SECTION \_\_\_\_\_ OF CHAPTER \_\_\_\_\_ OF THE AUSTIN CITY CODE.

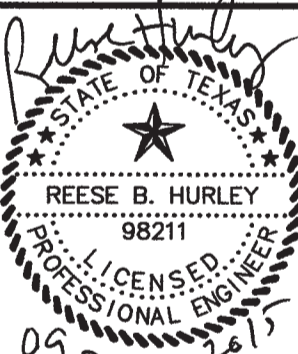
DIRECTOR FOR PLANNING AND DEVELOPMENT DEPARTMENT  
DATE OF RELEASE: \_\_\_\_\_ ZONING: \_\_\_\_\_  
REV. NO. 1 \_\_\_\_\_ CORRECTION NO. 1 \_\_\_\_\_  
REV. NO. 2 \_\_\_\_\_ CORRECTION NO. 2 \_\_\_\_\_  
REV. NO. 3 \_\_\_\_\_

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA. INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/her SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

## BEE CAVE SELF-STORAGE CONCEPT PLAN SITE PLAN

REVISIONS	DATE	DESCRIPTION
NO.		

DATE: 9/22/05	DESIGNED BY: RBH	DRAWN BY: JTS	CHECKED BY: I	FILE NAME: A312-01-Concept Site Plan
---------------	------------------	---------------	---------------	--------------------------------------



**LJA Engineering, Inc.**  
5316 Highway 290 West  
Suite 150  
Austin, Texas 78735  
Phone 512.439.4700  
Fax 512.439.4716  
FRN-F-1386

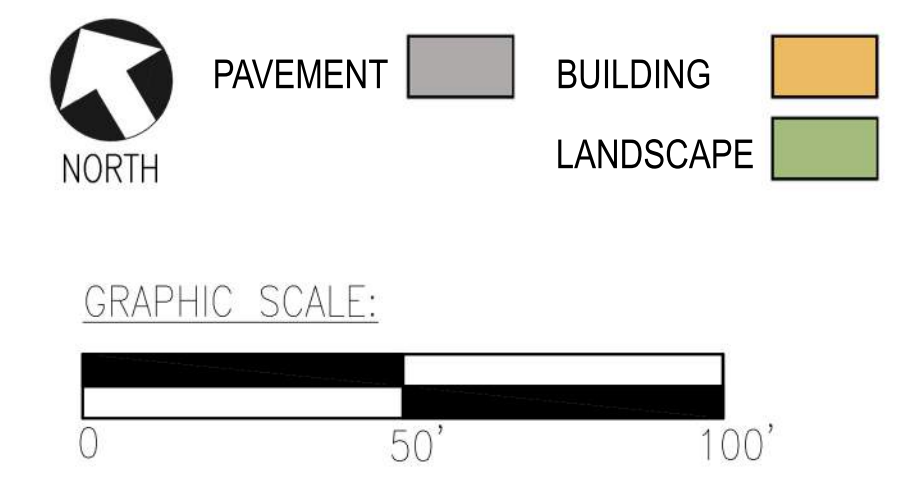
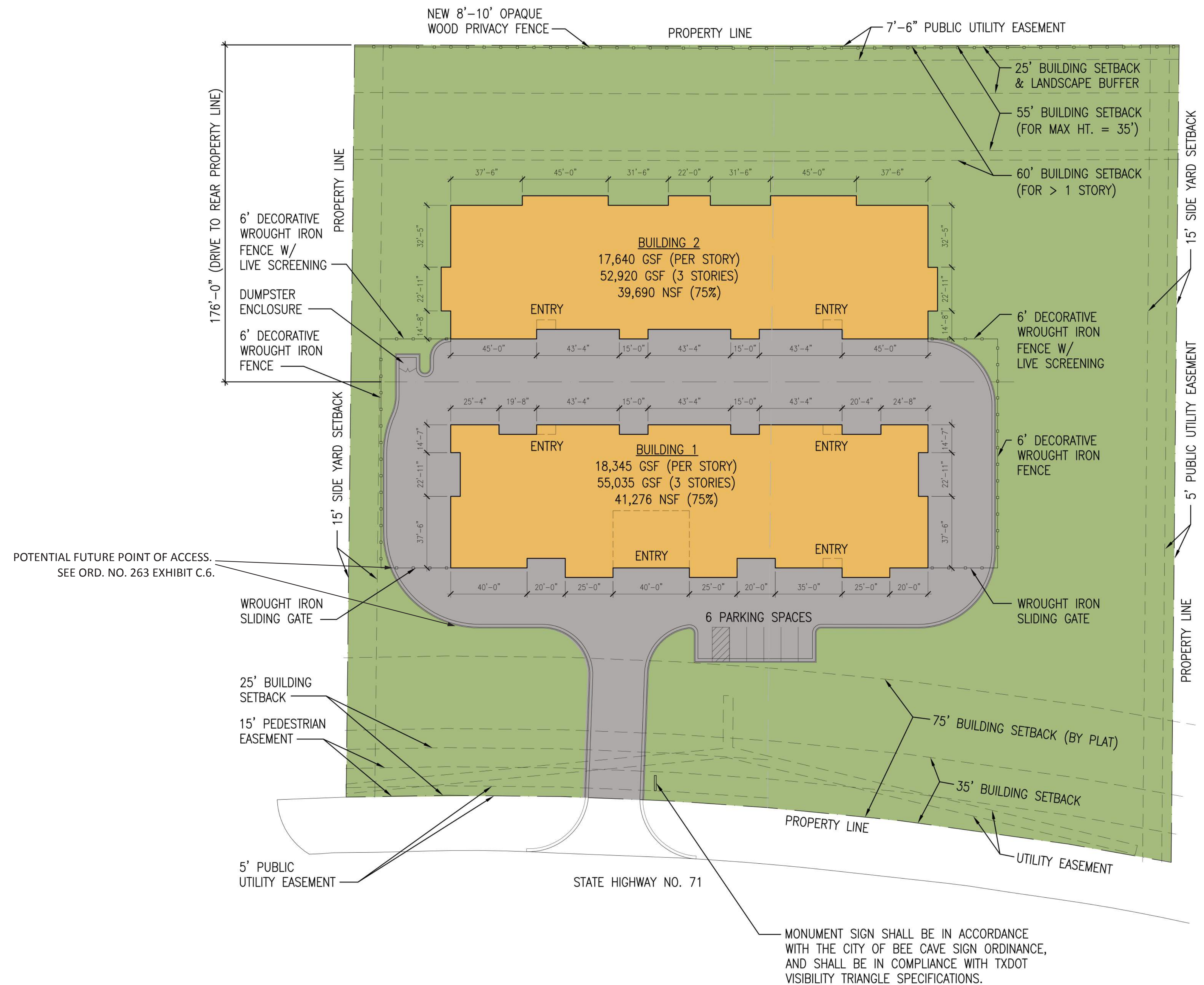
JOB NUMBER:  
A312-401

SP01

SHEET NO.

5

OF 8 SHEETS



TOTAL SITE:	173,138 GSF
TOTAL IMPERVIOUS COVER:	68,529 GSF
IMPERVIOUS COVER %:	40 %
BUILDING 1 MAX HEIGHT:	35'-0" ABOVE GRADE
BUILDING 2 MAX HEIGHT:	25'-0" ABOVE GRADE

CONCEPTUAL SITE PLAN HAS BEEN DEVELOPED WITHOUT SURVEY, SETBACK, EASEMENT, OR CIVIL ENGINEERING INFORMATION.

THIS DOCUMENT IS NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

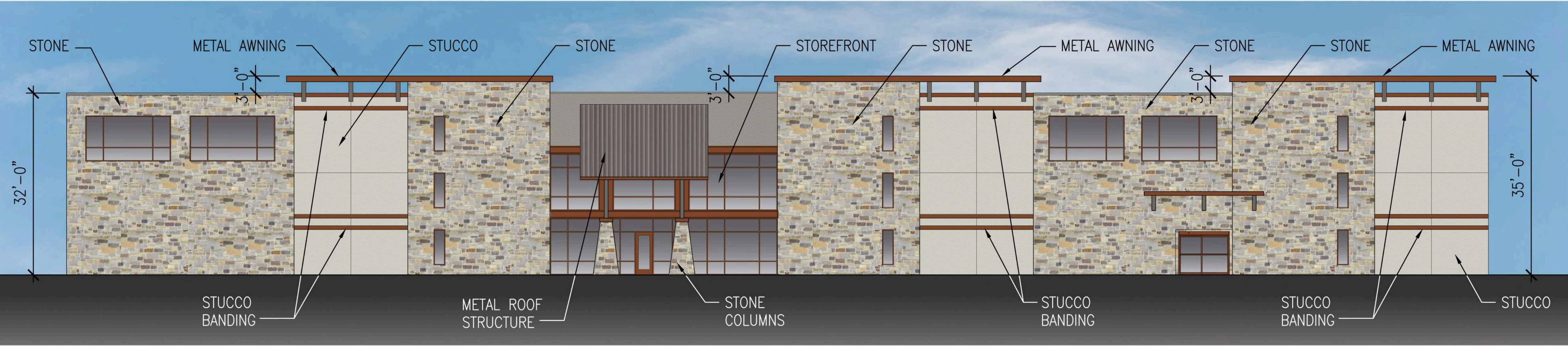
JEFFREY S. DALLENBACH, AIA  
TX REGISTRATION NO. 15128

# BEE CAVE STORAGE SITE PLAN

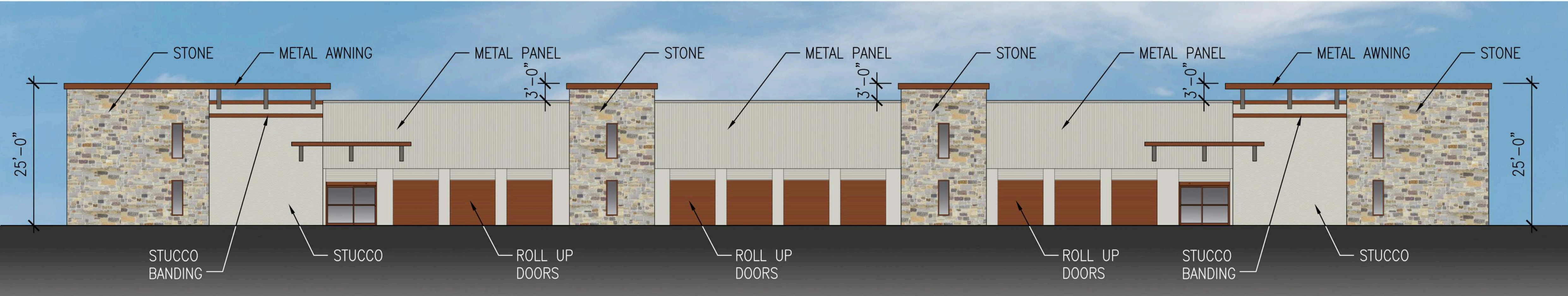
09.22.15

SCALE: 1" = 30'-0"

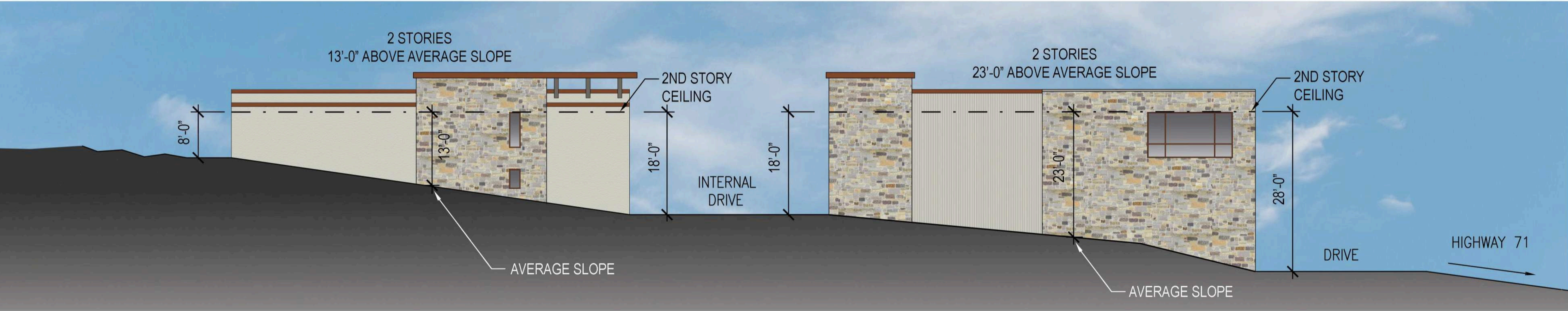
AS01 - SHEET 6 OF 8



BUILDING 1 - SOUTH ELEVATION  
(STATE HIGHWAY NO. 71)



BUILDING 1 - NORTH ELEVATION



BUILDING 2 - WEST ELEVATION

BUILDING 1 - WEST ELEVATION

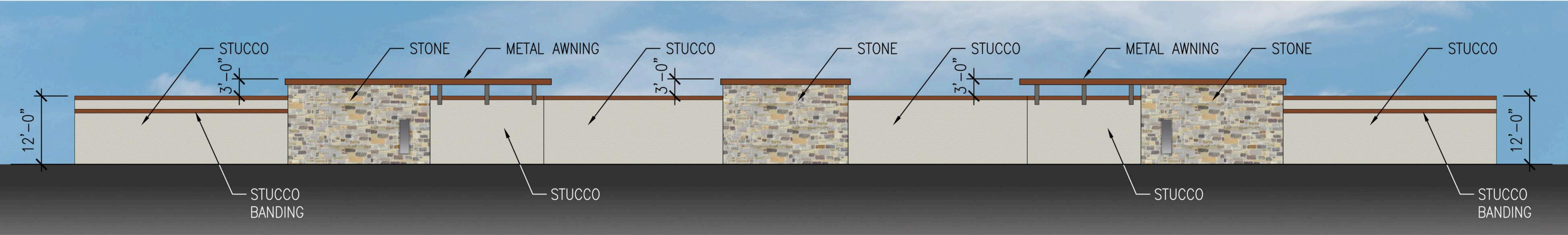
BUILDING 1 - NORTH ELEVATION		
	SF	PERCENT
TOTAL BUILDING FACADE	5,740	
GLAZING	281	5 %
DOORS	640	11 %
TOTAL BUILDING FACADE (EXCLUDING GLAZING AND DOORS)	4,819	
METAL WALL PANEL	2,097	44 %
MASONRY (STUCCO & STONE)	2,722	56 %

BUILDING 1 - SOUTH ELEVATION		
	SF	PERCENT
TOTAL BUILDING FACADE	8,217	
GLAZING	1,421	17 %
DOORS	-	0 %
TOTAL BUILDING FACADE (EXCLUDING GLAZING AND DOORS)	6,796	
METAL WALL PANEL	-	0 %
MASONRY (STUCCO & STONE)	6,796	100 %

BUILDING 1 - EAST ELEVATION		
	SF	PERCENT
TOTAL BUILDING FACADE	2,137	
GLAZING	31	1 %
DOORS	-	0 %
TOTAL BUILDING FACADE (EXCLUDING GLAZING AND DOORS)	2,106	
METAL WALL PANEL	584	28 %
MASONRY (STUCCO & STONE)	1,522	72 %

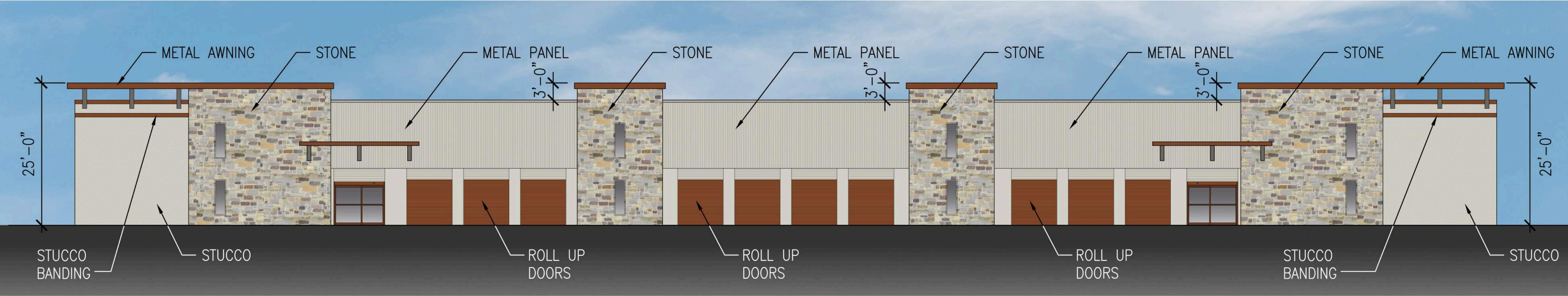
BUILDING 1 - WEST ELEVATION		
	SF	PERCENT
TOTAL BUILDING FACADE	2,068	
GLAZING	120	6 %
DOORS	-	0 %
TOTAL BUILDING FACADE (EXCLUDING GLAZING AND DOORS)	1,948	
METAL WALL PANEL	584	30 %
MASONRY (STUCCO & STONE)	1,364	70 %

BUILDING 1	MASONRY		METAL WALL PANEL	
	SF	PERCENT	SF	PERCENT
NORTH	2,722	56 %	2,097	44 %
SOUTH	6,796	100 %	0	0 %
EAST	1,522	72 %	584	28 %
WEST	1,364	70 %	584	30 %
AVERAGE	-	75 %	-	25 %



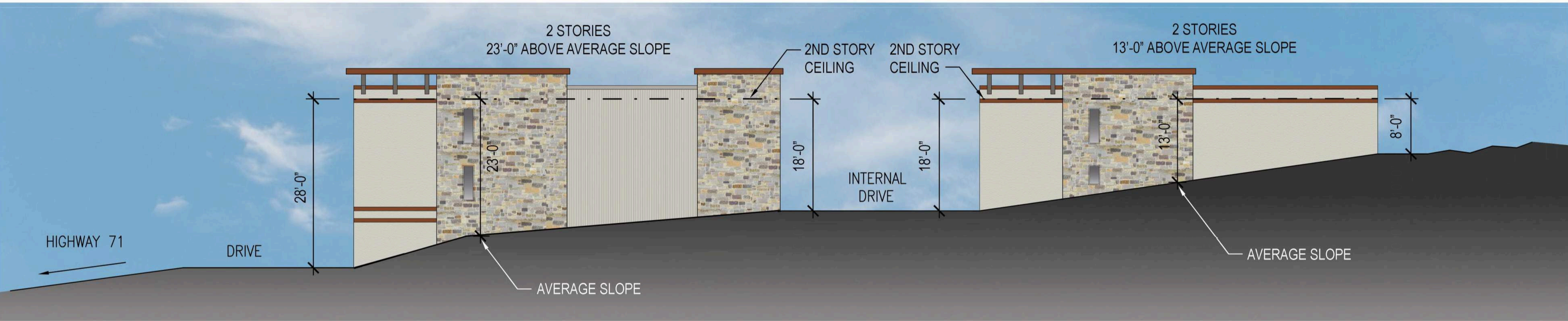
BUILDING 2 - NORTH ELEVATION  
(VIEW FROM NEIGHBORHOOD)

BUILDING 2 - NORTH ELEVATION		
	SF	PERCENT
TOTAL BUILDING FACADE	3,216	
GLAZING	-	0 %
DOORS	-	0 %
TOTAL BUILDING FACADE (EXCLUDING GLAZING AND DOORS)	3,216	
METAL WALL PANEL	-	0 %
MASONRY (STUCCO & STONE)	3,216	100 %



BUILDING 2 - SOUTH ELEVATION

BUILDING 2 - SOUTH ELEVATION		
	SF	PERCENT
TOTAL BUILDING FACADE	5,740	
GLAZING	281	5 %
DOORS	640	11 %
TOTAL BUILDING FACADE (EXCLUDING GLAZING AND DOORS)	4,819	
METAL WALL PANEL	2,097	44 %
MASONRY (STUCCO & STONE)	2,722	56 %



BUILDING 1 - EAST ELEVATION

BUILDING 2 - EAST ELEVATION

BUILDING 2 - EAST ELEVATION		
	SF	PERCENT
TOTAL BUILDING FACADE	1,258	
GLAZING	19	2 %
DOORS	-	0 %
TOTAL BUILDING FACADE (EXCLUDING GLAZING AND DOORS)	1,239	
METAL WALL PANEL	-	0 %
MASONRY (STUCCO & STONE)	1,239	100 %

BUILDING 2 - WEST ELEVATION		
	SF	PERCENT
TOTAL BUILDING FACADE	1,258	
GLAZING	19	2 %
DOORS	-	0 %
TOTAL BUILDING FACADE (EXCLUDING GLAZING AND DOORS)	1,239	
METAL WALL PANEL	-	0 %
MASONRY (STUCCO & STONE)	1,239	100 %

BUILDING 2	MASONRY		METAL WALL PANEL	
	SF	PERCENT	SF	PERCENT
NORTH	3,216	100 %	0	0 %
SOUTH	2,722	56 %	2,097	44 %
EAST	1,239	100 %	0	0 %
WEST	1,239	100 %	0	0 %
AVERAGE	-	89 %	-	11 %

## **EXHIBIT “B”**

### **CONDITIONAL USE PERMIT REQUIREMENTS**

#### **1. Total square feet of all buildings.**

1. Building One      55,035 sq. ft. (18,345 sq.ft. per story)
2. Building Two      52,920 sq. ft. (17,640 sq. ft. per story)

#### **2. Limitation on hours of operation.**

Hours of operation are limited to 7:00 AM to 9:00 PM. All gates and access doors will shut down at 9:00 PM.

#### **3. Limitations on hours of construction**

Noises emanating from construction and maintenance activities between the hours of 8:00 AM and 5:00 PM are exempt from the noise level regulations of the City Code.

#### **4. Lighting standards**

Bee Cave Self Storage will comply with the City lighting standards as required by the COBC Code of Ordinances.

#### **5. Parking spaces required.**

Five (5) parking spots shall be provided in the vicinity of the front office. The number of parking spots may be increased or decreased administratively by the City Manager or designee if needed for a particular Mini-Storage/Self-Storage facility or business so long as such approval is consistent with the terms and conditions of this Permit and the City's Code of Ordinances. Parking shall not be increased to accommodate the need for parking of Trucks or Trailers associated with a short term rental use unless this Permit is subsequently amended by the City. Parking spaces shall be provided as depicted in the Concept Plan.

#### **6. Circulation and traffic.**

Mini-Warehouse/Self-Storage establishments shall provide a loading area adjacent to all storage unit doors for the temporary parking of one vehicle and a trailer to accommodate loading and unloading of the storage unit. An additional maneuvering lane of standard width (25 to 30 feet) shall be provided adjacent to the loading area to allow traffic flow around the loading area. Internal Circulation shall be provided through a gated private drive within the Project stemming off of State Highway 71. There shall be one access

point off of State Highway 71. Owner will use commercially reasonable efforts to coordinate with the immediately adjoining property owner to the west to allow joint access to the driveway located on the Property. Any such agreement however will be conditioned on the use of the adjoining property being compatible with self-storage use and the adjacent owner being willing to agree to pay its pro rata share of any construction and maintenance costs for the driveway.

## **7. Outdoor Storage/Short Term Truck and Trailer Rentals.**

Outdoor storage, including but not limited to vehicular and boats, shall be prohibited on the Property. Rentals, including but not limited to trucks, trailers and equipment, shall be prohibited on the Property.

## **8. Fence Replacement and Screening**

The owner will install a new 8' cedar privacy fence along the north Property line to ensure additional buffer and privacy for the adjacent neighbors. The fence shall be constructed and maintained by the Property Owner. The Owner shall be authorized to extend the fence along the property line adjacent to the Property (as depicted in Exhibit "C" and attached hereto) in the event that such owners agree to the construction and maintenance of the fence on their property. In addition wrought iron fencing that complies with the City's Code of Ordinances will be constructed as depicted in Exhibit "A" and the existing fencing on the Property will be removed.

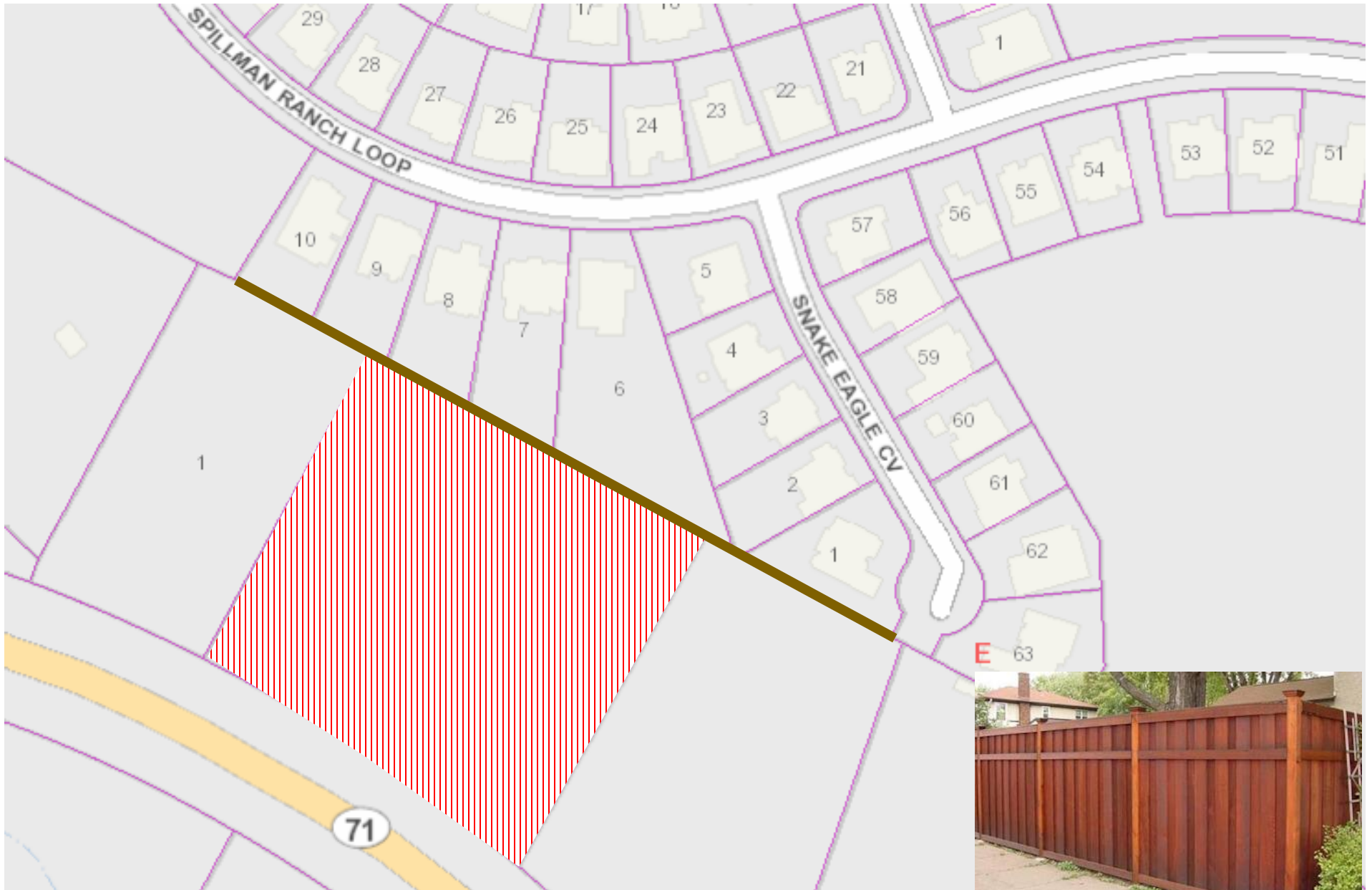
Bee Cave Self Storage will adequately screen any mechanical equipment installed or stored at ground level and shall comply with all other screening standards required in the COBC Code of Ordinances. In addition, any structural portion of a water detention or water quality pond shall be screened with landscaping so as not to be visible from highway 71 or from the adjacent property to the east.

## **9. Floating Easement**

Owner shall provide City with a 20 foot wide easement for trail and pedestrian connectivity within the front 75 foot setback of the Property at a location acceptable to the Owner and the City.

**EXHIBIT “C”**  
**FENCE EXHIBIT**

# FENCE EXHIBIT



Project Site



Proposed Fence Replacement Location



Proposed 8' Cedar Fence (for illustrative purposes only; actual fence dependent upon HOA and City approval)

## Fence Exhibit

### Bee Cave Self-Storage - Site & Impervious Cover Calculations

Gross Site Area	=	3.996 Ac.
Net Site Area	=	3.996 Ac.

### Allowable Impervious Cover

40% Net Site Area	=	1.598 Ac.	69,626 sf
45% Net Site Area w/ RW Harvesting	=	1.798 Ac.	78,330 sf

**Proposed Impervious Cover**

Building Coverage	=	0.826 Ac.	35,985 sf
Parking / Driveways / Pvmnt	=	0.769 Ac.	33,491 sf
Concrete Sidewalks	=	0.000 Ac.	0 sf

**Total Proposed IC**

G.S.F. = 107,955 sf 2.478 Ac.

### Parking Calculations

**Required Parking** = 108 Sp. (1/1,000 sf)

Standard Spa

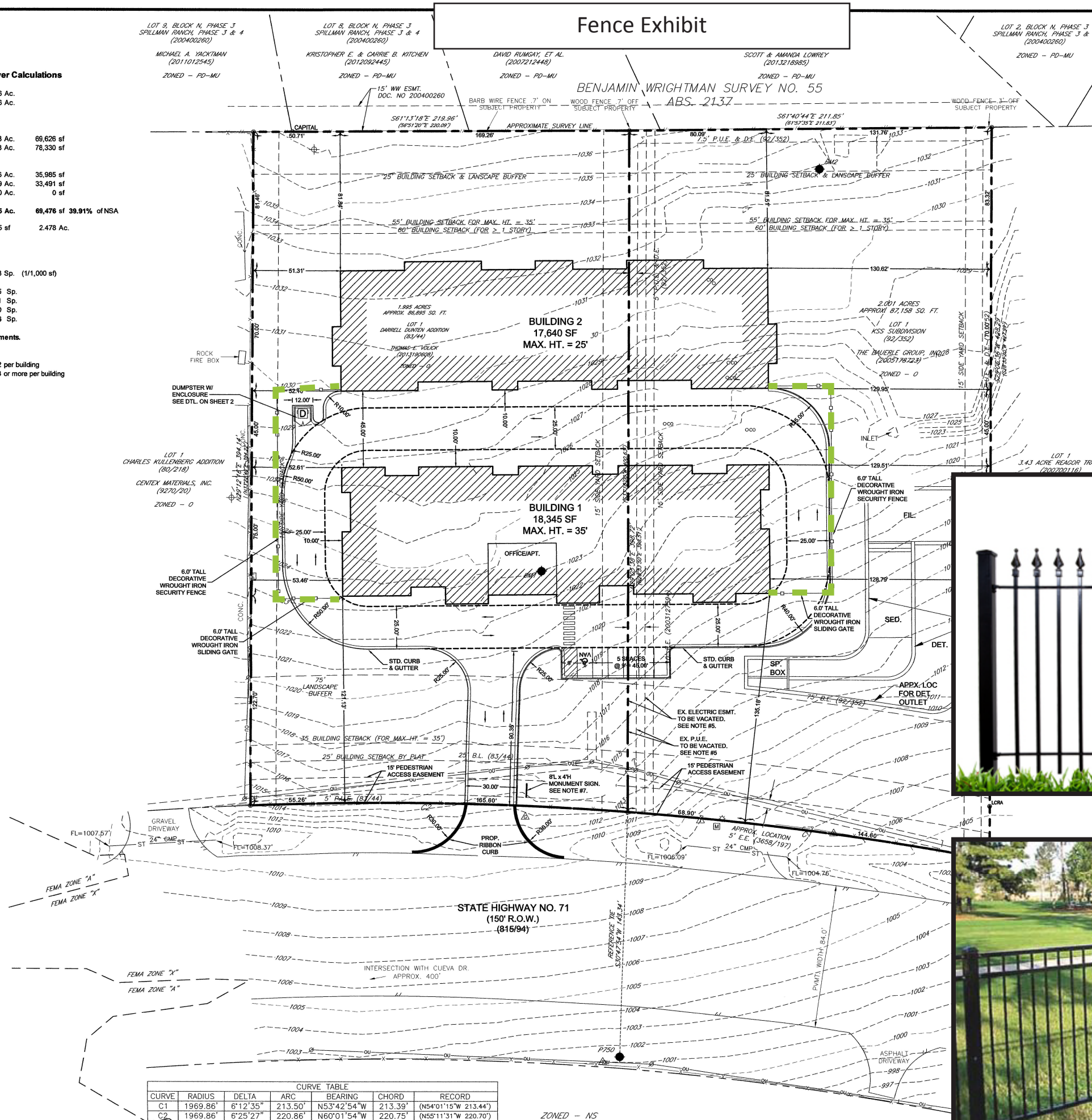
Accessible Spaces	=	1 Sp.
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### Total Spaces

### Submit to request

### Loading Spaces

Required Loading Spaces  
Provided Loading Spaces

[illegible]

*ZONED – NS*

CURVE TABLE						
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD	RECORD
C1	1969.86'	6°12'35"	213.50'	N53°42'54"W	213.39'	(N54°01'15"W 213.44')
C2	1969.86'	6°25'27"	220.86'	N60°01'54"W	220.75'	(N55°11'31"W 220.70')

A horizontal number line labeled "SCALE IN FEET" with tick marks at 30, 15, 0, 30, and 60.

SCALE IN FEET

### LEGEND

PROPOSED	EXISTING	
		STANDARD CURB & GUTTER
		RIBBON CURB
		PROPERTY BOUNDARY
		FIRE LANE
		ACCESSIBLE ROUTE
		ACCESSIBLE PARKING
		CROSSWALK
		STORM SEWER LINE
		1/2" REBAR FOUND (OR AS NOTED)
		1/2" REBAR WITH CAP FOUND
		1/2" REBAR WITH CHAPARRAL CAP SET
		WATER METER
		UTILITY POLE
		OVERHEAD UTILITIES
		ELEC. UTILITY
		ELEC. MANHOLE
		ELEC. MANHOLE
		LIGHT POLE
		TELEPHONE UTILITY
		UNDERGROUND GAS MARKER
		EXISTING FENCE
		TRAFFIC FLOW ARROW

**BEE CAVE SELF-STORAGE**

CONCEPT PLAN

SITE PLAN

[illegible]

1000

ELEVATION = 1033.78'  
VERTICAL DATUM: NAVD 88 (GEOID 09)

LOCATION OF EXISTING

512.439.471  
FRN-F-138

8 SHEETS